

IN THE MATTER OF
THE APPLICATION OF
ST. MARY'S ORTHODOX-CATHOLIC
CHURCH FOR SPECIAL HEARING
AND VARIANCE ON PROPERTY
LOCATED ON THE SOUTH SIDE OF
SHAWAN ROAD, 2400' EAST OF
BEAVER DAM ROAD
(909 SHAWAN ROAD)
8TH ELECTION DISTRICT
3RD COUNCILMANIC DISTRICT

* BEFORE THE
* COUNTY BOARD OF APPEALS
* OF
* BALTIMORE COUNTY
* CASE NO. 92-281-SPHXA

ORDER OF DISMISSAL

This matter comes to this Board on appeal from a decision of the Zoning Commissioner in Case No. 92-281-SPHXA in which Petitioner's requests for special hearing relief and variance were denied.

WHEREAS, the Board is in receipt of a dismissal of appeal filed by John B. Gontrum, Esquire, counsel for St. Mary's Orthodox Church, Petitioner /Appellant, dated December 19, 1996 (a copy of which is attached hereto and made a part hereof); and

WHEREAS, said counsel for Petitioner /Appellant requests that the appeal filed in this matter be dismissed as of this date;

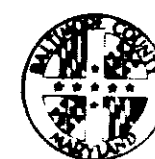
IT IS HEREBY ORDERED this 21st day of January, 1997 by the County Board of Appeals of Baltimore County that said appeal be and the same is hereby DISMISSED.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY

Robert O. Schuetz, Chairman

Lawrence M. Stahl

S. Diane Levero



County Board of Appeals of Baltimore County

OLD COURTHOUSE, ROOM 49
400 WASHINGTON AVENUE
TOWSON, MARYLAND 21204
(410) 887-3180

January 21, 1997

John B. Gontrum, Esquire
ROMADKA, GONTRUM & McLAUGHLIN
814 Eastern Boulevard
Baltimore, MD 21221

RE: Case No. 92-281-SPHXA
St. Mary's Orthodox-Catholic Church

Dear Mr. Gontrum:

Enclosed please find a copy of the Order of Dismissal issued this date by the County Board of Appeals of Baltimore County in the subject matter.

Very truly yours,

Charlotte E. Rodcliffe for
Kathleen C. Bianco
Legal Administrator

encl.

cc: Father George Romley
Ramon Jadra
Jerry Sackleh
Matti A. Kassir
Sam Simaika
Dr. John Bernstein /VPC
A. Douglas McComas /Falls Rd Comm Assn
Harvey L. Miller
Jeffrey Foreman
Dennis Sutton
People's Counsel for Baltimore County
Pat Keller
Lawrence E. Schmidt
Arnold Jablon, Director /PDM
Virginia W. Barnhart, County Attorney

ROMADKA, GONTRUM & McLAUGHLIN, P.A.

814 Eastern Boulevard
Baltimore, Maryland 21221
(410) 686-8274
(410) 686-0118 FAX

ROBERT J. ROMADKA
JOHN B. GONTRUM
J. MICHAEL McLAUGHLIN, JR.

ELIZABETH A. VANNI
JILL D. LOPER

* Also Admitted to the Office of Counselors

TOWSON OFFICE:
307 W. ALLEGHENY AVENUE
TOWSON, MARYLAND 21204
(410) 823-0711

December 17, 1996

Board of Appeals
400 Washington Avenue
Room 49
Towson, Md 21204
Attn: Kathleen Bianco
Executive Secretary

Re: St. Mary's Orthodox Church
Petition for Special Hearing
Case No. 92-281-SPHXA

Dear Mrs. Bianco:

By this letter I wish to request the Board to enter a Dismissal in the appeal file on St. Mary's Orthodox Church in the above referenced Petitions. An order was issued by the County Zoning Commissioner on May 23, 1995, and the issue from which the church appealed thereby was rendered moot. Thank you for your consideration and patience.

Very truly yours,

John B. Gontrum

cc: Reverend George Romley

IN THE MATTER OF
PETITION FOR SPECIAL HEARING
SPECIAL EXCEPTION & VARIANCE
S/S Shawan Road, 2400 ft. E of
of Beaver Dam Road
909 Shawan Road
8th Election District
3rd Councilmanic District
St. Mary's Orthodox-
Catholic Church
Petitioner

* BEFORE THE
* COUNTY BOARD
* OF
* APPEALS OF
* BALTIMORE COUNTY

ZONING No.: 92-281-SPHXA

ENTRY OF APPEARANCE

MADAM/MR. CLERK:

Please entry the appearance of John B. Gontrum, Esquire, ROMADKA, GONTRUM & McLAUGHLIN, P.A., on behalf of Saint Mary's Orthodox-Catholic Church, the Petitioner in the above referenced matter.

John B. Gontrum, Esquire
ROMADKA, GONTRUM & McLAUGHLIN, P.A.
814 Eastern Blvd.
Essex, Maryland 21221
(410) 686-8274

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 7th day of October, 1994, I mailed a copy of the foregoing, postage prepaid to People's Counsel for Baltimore County, Old Courthouse, Room 47, 400 Washington Ave., Towson, Maryland 21204.

John B. Gontrum

ROMADKA, GONTRUM & McLAUGHLIN, P.A.

814 Eastern Boulevard
Baltimore, Maryland 21221
TELEPHONE: (410) 686-8274
FAX: (410) 686-0118

ROBERT J. ROMADKA
JOHN B. GONTRUM
J. MICHAEL McLAUGHLIN, JR.

ELIZABETH A. VANNI

* Also Admitted in D.C.

County Board of Appeals of Baltimore County
Old Courthouse, Room 49
400 Washington Ave.
Towson, MD 21204

Attn: Ms. Kathleen C. Weidenhammer
Administrative Assistant

Re: St. Mary's Orthodox-Catholic Church
Case No.: 92-281-SPHXA
RGM File No.: 94.3022

Dear Ms. Weidenhammer:

Pursuant to your request, enclosed please find my Entry of Appearance relative to the above case.

Thank you for your kind attention to this matter.

Very truly yours,

John B. Gontrum

JBG/bjb

Enclosure

cc: People's Counsel for Baltimore County

IN RE: PETITIONS FOR SPECIAL HEARING,
SPECIAL EXCEPTION & VARIANCE
S/S Shawan Road, 2400 ft. E of
Beaver Dam Road
909 Shawan Road
8th Election District
3rd Councilmanic District
St. Mary's Orthodox-Catholic Church
Petitioner

* BEFORE THE
* ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 92-281-SPHXA

FINDINGS OF FACTS AND CONCLUSIONS OF LAW

This matter comes before the Zoning Commissioner on an amended Petition for Variance and an amended Petition for Special Hearing for the property located at 909 Shawan Road, in the Hunt Valley section of Baltimore County. The property is more well known as the site of the St. Mary's Orthodox-Catholic Church, located not far from the junction of I-83 and Shawan Road in northern Baltimore County. The subject Petitions were originally filed by the Petitioner on January 16, 1992. Subsequently, both the Petitions for Variance and Special Hearing were amended and a previously filed Petition for Special Exception was withdrawn. As to the amended Petition for Variance, relief is requested from Section 413.1.B. of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit two externally illuminated signs 36 sq. ft. in area in lieu of the permitted single 30 sq. ft. sign, resulting in variances of one sign and 6 ft. As to the amended Petition for Special Hearing, relief is requested to amend the approved plan which granted a special exception in case No. 84-130-X, in accordance with the site plan submitted at the public hearing. Also sought is an amendment to restriction No. 2 in the Order issued in case No. 84-130-X so as to comply with the current Baltimore County Landscaping requirements.

The Petitions were heard and considered during a hearing which lasted for two hearing days. Appearing at that hearing was Father George Romley, a priest at St. Mary's Orthodox-Catholic Church. Also appearing was Ramon

Jadra, an aero space/manufacturing engineer, and Matti A. Kassir, a structural engineer and former employee of Baltimore County. Both Messrs. Jadra and Kassir are members of St. Mary's congregation and assisted with the preparation of the development/site plans. Also testifying on behalf of the Petitions was Juri Maiste, a surveyor, who prepared a number of the site plans including Petitioner's Exhibits No. 4 and 22, Sam Simaika, an architect, and Jerry Sackleh, also a member of the congregation. Joseph P. Katrik, Esquire and Brian Cavanaugh, Esquire represented the Petitioner.

Appearing in opposition to the Petitions was Margaret Morrall, Executive Secretary of the Valleys Plannings Council, Douglas McComas from the Falls Road Community Association, and Jeffrey Foreman, a resident of the community known as Greencroft, which is located nearby. Avery Harden, the County's Landscape Architect, also appeared and testified.

The testimony and evidence presented in this case was at times confusing and is difficult to summarize. It should be first noted and stressed that the history of the development of this site as a church was irregular and has, therefore, caused difficulties for both the church and surrounding community. It is apparent that when the leadership of the church decided to acquire and develop this property, an effort was made to minimize development costs by utilizing the expertise of members of the congregation, rather than retaining consultants who were well versed in development/zoning process in Baltimore County. Messrs. Jadra, Simaika and Kassir all appeared to be outside of their areas of professional expertise in responding to the issues presented during the zoning/development process. Moreover, Mr. Kassir labored under the burden created by the fact that he was a County employee at the time he was assisting the Church with its efforts to obtain zoning approval from his employer. This observation is made by this Zoning

Commissioner not to adjudge or criticize the efforts made by the Church's representatives, but to state a significant factor which led to the difficult quandary in which the Church now finds itself. Moreover, it is apparent that even at the time of the public hearing, a misunderstanding of the zoning process existed in the minds of the Church's representatives. As stated by this Zoning Commissioner on the record, the case law and zoning regulations place the burden upon a property owner to develop its property in accordance with the approved site plan and the development/zoning regulations. Repeated testimony offered by the Petitioner clearly demonstrated that the Church and its representatives placed near blind reliance upon the County and its reviewing agencies. The Church's representatives apparently never appreciated that they were responsible to prepare and submit development plans to the County for approval.

Compounding the difficulties created by the above factor was the failure of the County to properly monitor the development of this site. As will be discussed hereinafter, permits were issued that should never have been authorized. The errors by the Church and Baltimore County have created a most difficult situation.

In any event, in describing the property, it is located in the Hunt Valley area of Baltimore County, west of I-83 on Shawan Road. The site is 3.46 acres in size and is zoned R.C.4. The parcel is a rectangular shaped property which fronts the south side of Shawan Road. Consistent with the zoning of this property and surrounding tracts, this is largely a residential/rural locale. Although I-83 and commercial/industrial uses to the east thereof are nearby, the surrounding properties mostly share the R.C. zoning designation. By and large, the surrounding uses include farms and large residential lots.

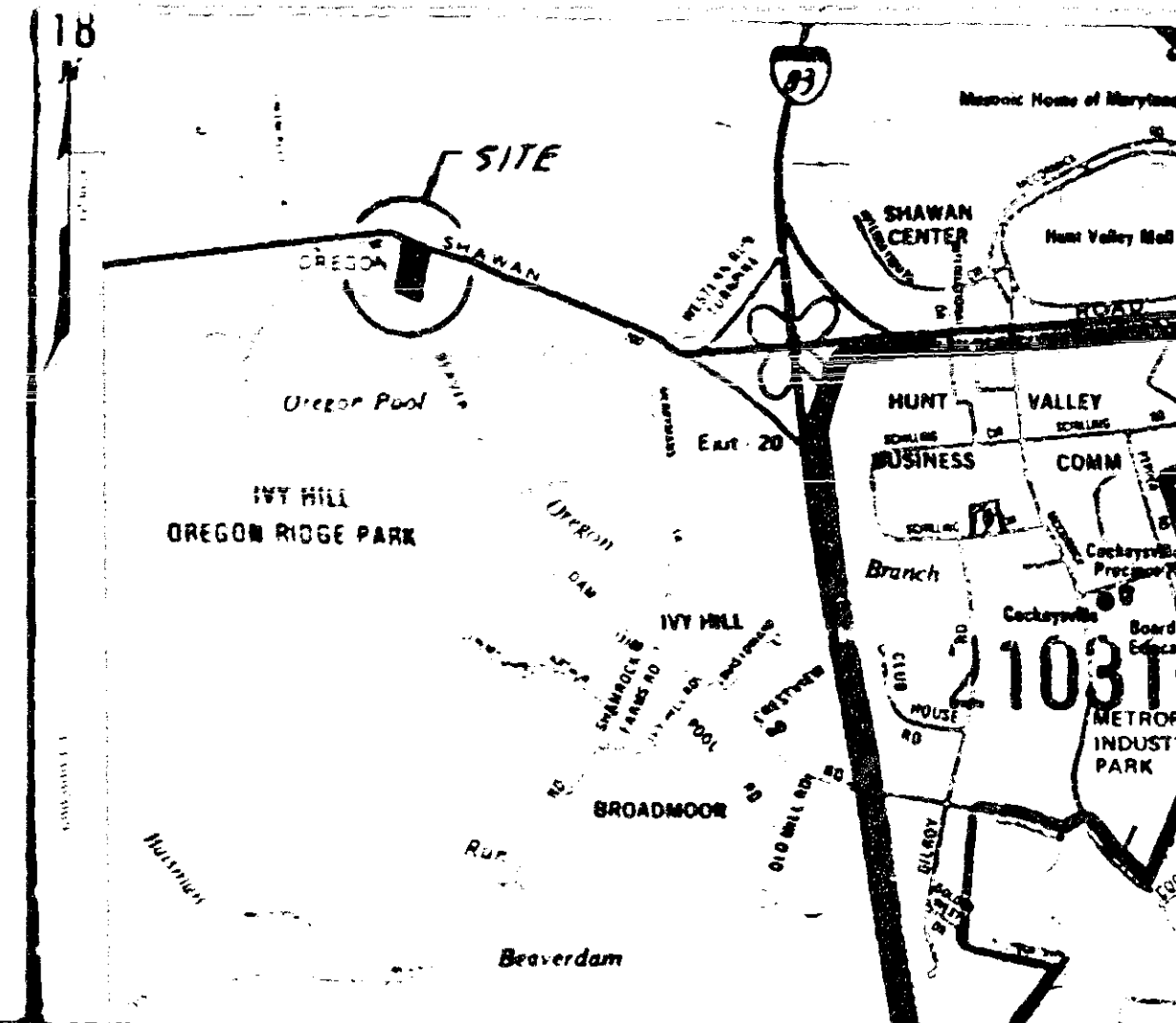
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Date 1/21/97
By [Signature]

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FIELD DESIGN FOR 300 SEAT MAX. CHURCH
 300 SEAT CAPACITY 1.5 GAL./SEAT/DAY = 450 GAL./DAY
 AVG. PERCOLATION RATE = 2 MINUTES = 56 S.F. EFFECTIVE
 SIDEWALLS 100 GALLONS
 AVERAGE PEAK FLOW OVER 2-DAYS = 750 GAL./DAY
 56 X 750 = 420 EFFECTIVE SIDEWALLS REQUIRED
 420 / 2 = 210 LIN. FT. INFILTRATION TRENCHES NEEDED PER FIELD
 INFILTRATION TRENCHES PROVIDED
 PRIMARY FIELD - 284 LIN. FT.
 ALTERNATE FIELD - 300 LIN. FT.

BENCH MARK
 BALTO COUNTY TRAVERSE STA. NO. 12822 ELEV. 364.00
 1/2" BAR ON SOUTHWEST SIDE OF SHAWAN ROAD & N. WEST
 SIDE OF DRIVEWAY TO #911 SHAWAN ROAD



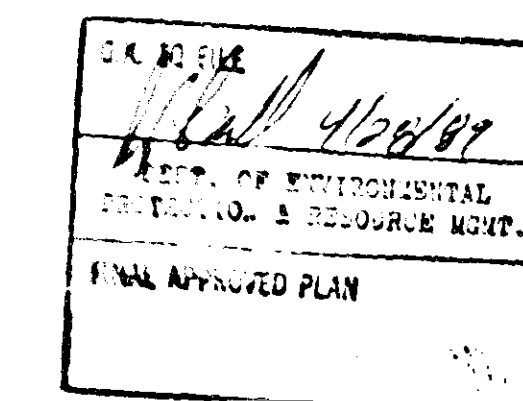
LOCATION MAP
 1"=2000'

COUNTY BOARD OF APPEALS CASE #84-130-X
 ORDER GRANTED SEPT. 19, 1984
 WITH THE FOLLOWING RESTRICTIONS:

1. Compliance with CRG requirements
2. A detailed landscaping plan shall be submitted to and approved by the Current Planning and Development Division of the Office of Planning and Zoning
3. Approval of a site plan by the Office of Planning and Zoning

NOTES ON RESTRICTIONS:

1. C.R.G. WAIVER FOR PLAN AND PLAT APPROVED ON 11/18/1983.
2. LANDSCAPE PLAN HAS BEEN SUBMITTED TO PLANNING DEPT. FOR REVIEW.
3. SITE PLAN HAS BEEN SUBMITTED TO PLANNING AND ZONING FOR REVIEW.



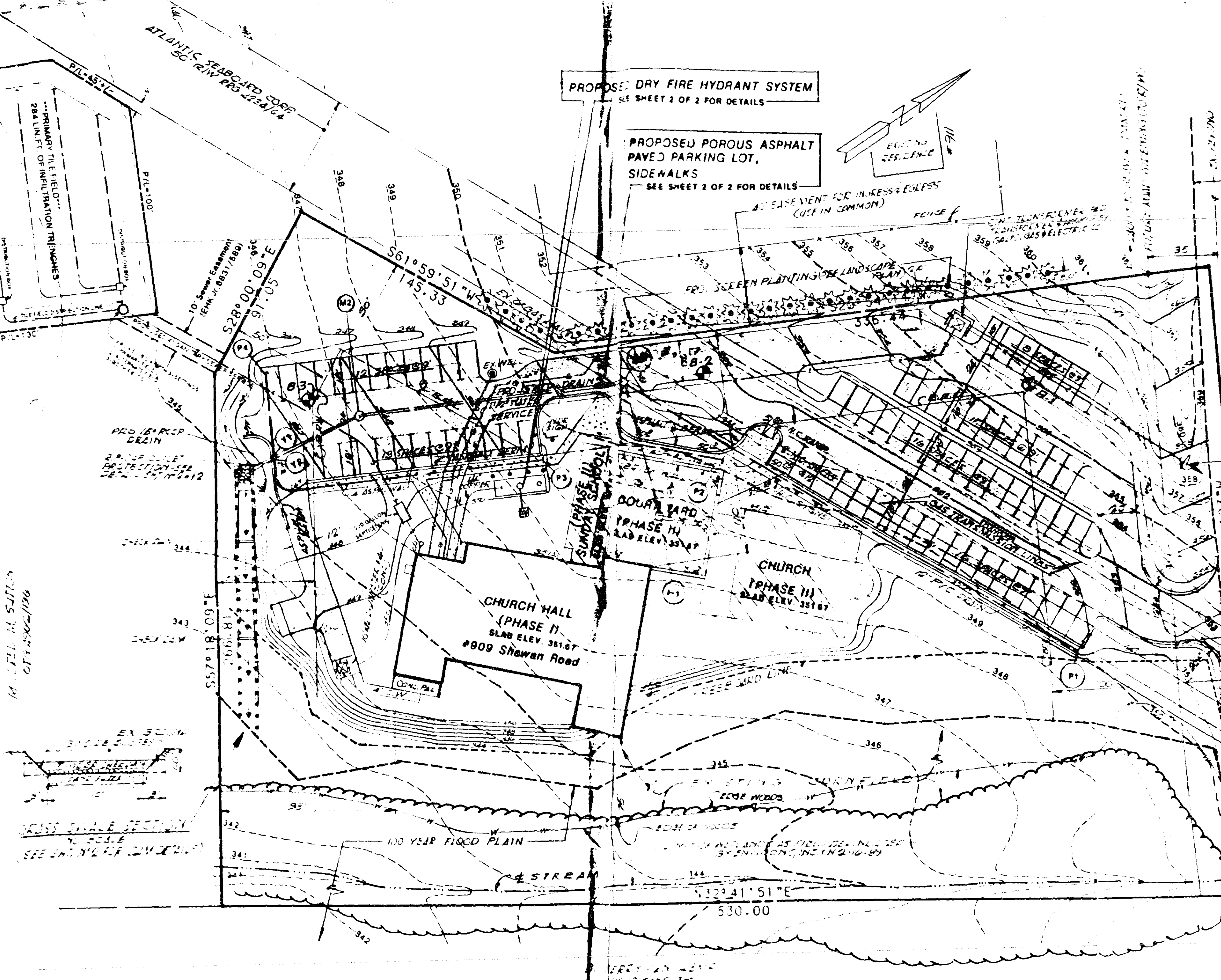
CRG Waiver #83-93 (2-8-83)
 Phase one - Church/Recreation
 Future phases may require
 zoning hearings. REF 5310

92-281-SPHXA

Signature

GENERAL NOTES

1. AREA OF PROPERTY...
2. EXISTING AND PROPOSED BUILDINGS...
3. PROPOSED DRIVEWAY AND PARKING LOT...
4. AREA OF PROPOSED INFILTRATION TRENCHES...
5. INFILTRATION TRENCHES PROVIDED...
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PLAN
 1"=30'

NOTE: PHASE II INCLUDES SUNDAY SCHOOL
 COURTYARD AND CHURCH BUILDING

PROPOSED IMPERVIOUS AREA: 8,249 SQ. FT.

C.R.G. WAIVER FOR PLAN AND PLAT APPROVED: 11/18/1983

SHEET C-1

<p>MAISTE & WATTS, INC. SURVEYORS & ENGINEERS 2923 CHENOWETH AVE., BALTIMORE, MD. 21234 (301)882-0321</p>	<p>OWNER: SAINT MARY'S ORTHODOX CHURCH C/O RAMON JADRA 109 WABASH AVE. REISTERSTOWN, MARYLAND 21136</p>	<p>ARCHITECTURAL CONSULTANT: SAM Z. SIMAIKE D. ARCH., A.I.A. 30 PINEWOOD AVE. SILVER SPRING, MARYLAND</p>	<p>PLAN OF NEWSITE FOR NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH 8 THIRDSIDE DRIVE, BALTIMORE, MD. 21204</p>	<p>SHEET 1 DATE 11/26/1989 1"=30' 87-108</p>
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Apparently, the Church developed an interest in acquiring the property in or about 1983. On October 12, 1983, the Church filed a Petition for Special Exception before the Zoning Commissioner of Baltimore County. The site plan filed in that case was prepared by Mr. Kassir. That case, No. 84-130-X, requested special exception relief to allow "The construction of a Church in an R.C.4 zone." The Petition was filed by Mildred M. Sutton, then property owner of the parcel, and the Church as Contract Purchaser. The matter was heard by the Deputy Zoning Commissioner and special exception relief was granted. Subsequently, a de novo appeal was taken to the Board of Appeals of Baltimore County. By its' opinion and Order dated September 19, 1984, the Board affirmed the approval of the Special Exception by the Deputy Zoning Commissioner and granted the Petition. Moreover, three restrictions were included in the Order. These were; (1) That the site comply with the C.R.G. (County Review Group) requirements; (2) That a detailed landscaping plan be submitted to and approved by the Current Planning and Development Division of the Office of Planning and Zoning; and (3) That the site plan be approved by the Office of Planning and Zoning.

The records from that case also reflect that a site plan was submitted to the Board at their hearing and, no doubt, was reviewed by that panel during their deliberations. That plan was marked and received as Petitioner's Exhibit No. 1 at the Board's hearing. Moreover, that site plan showed the subject property and the proposed Church building. The building shown was to be 75 x 100 ft. in area and was a rectangularly shaped structure located in the center of the lot. Vehicular access was to be provided from a driveway which led from Shawan Road on the east side of the property to large parking lot.

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Date 6/1/89
By Mr. J. J. Hall

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Armed with this site plan and the approved Petition, the Church then went forward to develop the site. However, as made abundantly clear by the testimony offered at the hearing before me, actual construction did not immediately follow. The Church did move forward quickly and acquired the site. By deed dated November 21, 1984, the subject property was conveyed by Mrs. Sutton to the St. Mary's Orthodox-Catholic Church for the sum of \$50,000.00. It is also significant to note that, in addition to the fee simple acquisition of the property, the Church also acquired at that time an easement for the use of a 16,000 sq. ft. adjacent parcel. Significantly, this parcel is located offsite, to the southwest of the subject lot. Apparently, the Petitioner was aware at that time that construction of a septic system on site was not feasible. Thus, arrangements were made with Ms. Sutton to acquire an offsite easement area for this system. The language within this deed and the date of same is significant. That is, this acquisition was made only two months after the Board stated, "The site would contain one 7500 sq. ft. building, a well and septic system, a small sign, outside lighting on the parking lot only and the required parking." (emphasis added). Testimony and evidence before me never did clarify why the Board made such a finding in approving the Petition, when the Petitioner clearly knew at the time of the Board's hearing that the septic system would be installed offsite. Nonetheless, it is apparent that the Board approved a special exception for the Church with an onsite septic system, when the Church envisioned that an offsite system would be required.

Continuing the chronology, the matter lurched forward unevenly towards development. Ultimately, another site plan was produced by Mr. Maiste, a land surveyor. That plan, which is marked in the proceedings before me as Petitioner's Exhibit No. 4, was prepared on January 26, 1989. It apparently

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Date 6/1/89
By Mr. J. J. Hall

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was developed after arduous negotiations between the Church and Baltimore County. In fact, significant testimony was produced at the hearing before me regarding this process. Although the volume of testimony produced about this issue was great, the full reasons for the delay remains unclear to this Zoning Commissioner. Messrs. Jadra and Simaika, and other members of the congregation, who were doubling as the Petitioner's development experts, testified that they experienced long delays in obtaining County approvals. Moreover, as noted above, they apparently assumed that the County should both co-produce the plans and approve them. My impression of this process is that the Petitioner never clearly understood its responsibilities to produce development plans which complied with County regulations and would be accepted by the reviewing agencies. Rather, plans were submitted haphazardly and issues were addressed piecemeal while the Petitioner placed great reliance on the County to not only approve but co-produce the plans. Other witnesses presented different reasons for the delay. Mr. Maiste, for example, noted the existence of an underground gas line through the property maintained by Columbia Gas and Electric. He indicated that the project was slowed while that utility replaced and refitted the line. Also, Mr. Maiste acknowledged the existence of a stream and wetlands on site which delayed the approval process through the County's Department of Environmental Protection and Resource Management (DEPRM). However, when pressed on cross examination, Mr. Maiste testified that although the wetlands did delay the project, the resolution of environmental issues presented by these wetlands was not inordinately longer than the usual time frames for the development process.

Ultimately, a site plan was produced which, as noted above, was identified as Petitioner's Exhibit No. 4, the plan prepared by Mr. Maiste. The

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Date 6/1/89
By Mr. J. J. Hall

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improvements on this plan bear little, if any, similarity to what was shown on the original plan approved by the Board. Rather than one 7500 sq. ft. rectangularly shaped building located in the center of the plot, an "H" shaped structure is shown towards the rear of the site. This building, which is approximately 8400 sq. ft. in size, contains two wings and an assembly/fellowship hall. Moreover, the parking arrangement and vehicular access was markedly different than what was approved. Rather than a parking area to the east of the building, parking was shown on the northwest corner of the site extending along the westerly boundary towards the south.

Regrettably, no one apparently paid any mind to this new plan and its differences from the original site plan. Although there had been community interest in the special exception proceedings before the Deputy Zoning Commissioner and Board of Appeals in 1984, no one, including the Petitioner, Baltimore County, or the residents of the surrounding community, gave any thought to the marked differences between the plan which was considered and approved by reference by the Board of Appeals in 1984, and that which was ultimately submitted and approved by Baltimore County for building permits. Although I have no doubt that the latter plan may be superior to the initial plan in terms of engineering, environmental detail and the like, the significant point which was missed is that the plan and use which was approved by the Board of Appeals in the special exception process was radically different than the ultimate site development plan which was submitted by the Petitioner and approved by Baltimore County.

Consistent with the long delay and piecemeal approach in developing the site plan, the Petitioner also failed to comply with the restrictions contained in the Board's Order. As referenced above, one of the restrictions required was that the developer submit a landscape plan for approval. In

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Date 6/1/89
By Mr. J. J. Hall

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this respect, testimony was received from Mr. Harden, the County's Landscape Architect. He noted that a landscape plan was finally submitted and approved by him on May 1, 1989. This was nearly five years after the special exception approval was granted and the mandate issued that a landscape plan be submitted. There was no explanation as to the cause of the delay of this landscape plan. Moreover, the plan has never been implemented. There was testimony to the effect that the Church planted trees and plantings on the property in an effort to buffer the use from the surrounding locale. Moreover, there was testimony that a number of these trees have been stolen or removed without authorization. Apparently, this is quite a sore subject between the Church and its neighbors. Whatever the case, it is clear that even today, nearly 10 years after the initial approval was authorized, the property is inadequately landscaped and does not comply with the approval landscape plan. In fact, the Petitioner and Mr. Harden submitted a new landscape plan to me, seeking approval of same, to landscape the site and bring the property in compliance with the spirit and intent of the landscape regulations.

Returning to the development process for this site, testimony and evidence was that construction of the Church did not occur until 1990. A building permit was submitted as evidence which allowed the construction of the building and was issued by Baltimore County on March 27, 1990. Moreover, the testimony was consistent that no physical construction began on the site until after that date. Moreover, it is clear that the permit had been in process for sometime before that. In fact, certain County departments signed off on the building permit as early as June of 1989 and the date of application of the subject building permit is April 28, 1989. For reasons

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Date 6/1/89
By Mr. J. J. Hall

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not fully explained, however, the permit was not issued until March of 1990 and construction began thereafter.

This uncontradicted fact as to the date of the construction of the Church raises an immediate threshold issue. As provided by both the B.C.Z.R. (Section 502.3) and the Deputy Zoning Commissioner's decision which was affirmed by the Board, the special exception approval was valid for a period of five years. Deputy Zoning Commissioner Jung's decision specifically established the life of the approved special exception relief within restriction No. 4 in her Opinion. The Board, on a de novo appeal, did not specifically approve the special exception use for a period of five years. Thus, it might be argued that the special exception granted to the Church by the Board was valid for a period of two years, pursuant to Section 502.3. However, giving the Petitioner the benefit of the doubt, it could also be reasoned that the special exception was valid for five years, in that the Board's Order specifically "affirmed" the decision of the Deputy Zoning Commissioner and thereby may have incorporated her restrictions. Whatever the case, it is abundantly clear that the construction of the Church did not commence within the maximum period allowed. Even giving the Petitioner the benefit of the doubt that the Board's Order was not a final Order until 30 days after its issuance, there was no physical construction on site on or before five years and 30 days after the Board's Order (i.e., 10/19/89).

This being the case, it, therefore, must be determined whether the rights conferred by the special exception upon the Petitioner were vested or whether the authority under the relief granted by the Board lapsed. In an effort to prove the former, the Petitioner offered two arguments. First, testimony and evidence was presented that there was activity on the site prior to October 1989. Specifically, testimony and evidence was offered

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Date 6/1/89
By Mr. J. J. Hall

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that a well was drilled on the property in 1987, that perk test pits were dug on the property and that certain trees were removed and replaced prior to October of 1989. Do these activities constitute construction so as to vest the special exception approval? I think not.

In my view, these are pre-development activities which are not part of the construction of the Church. An owner of the subject property who intended to develop same into any use, be it a dwelling, church, farm, etc., might conduct perk tests, dig a well, and/or replace trees. These tests and procedures are the most preliminary activities for contemplating development on any site. Thus, I do not believe that the minimal tree plantings/removal, well digging and/or perk testing constitutes construction sufficient to vest the authorization provided by the special exception. Clearly, none of these activities constitute the construction of the Church building.

As a second theory, the Petitioner offered the testimony of Father Rowley. He indicated that before construction of the building, the property, itself, was used for church purposes. Apparently, a temporary altar was brought on site, and certain religious ceremonies were conducted on site to bless the land. Moreover, testimony was heard that the site was used to conduct outside services prior to 1989. Thus, it might be argued that the property was, in fact, used for religious purposes prior to October of 1989 and, thus, the special exception use was vested.

Although ingenious, this approach also fails. A simple reading of the Petition originally filed resolves this issue. Therein, the Petitioner requested special exception approval for the construction of a church. Unlike land uses which do not require a building, per se, i.e., golf course, farm, etc., the use of any property as a church requires some physical building or structure. Clearly, the Board of Appeals in issuing their decision

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Date 6/1/89
By Mr. J. J. Hall

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in 1984 considered the impact on the locale of the 7500 sq. ft. church building, parking lot, etc., in granting the Petition for Special Exception. There is no evidence that testimony offered at that time was that the property, absent a building, would be used to conduct outside services.

Thus, in rejecting these two approaches, I must conclude that the special exception was not vested and that the present use of the property is illegal. Quite simply, the Petitioner failed to vest its special exception in the time authorized and the authority for such a use lapsed, at the latest, on October 19, 1984. Any construction of the Church, thereafter, was illegal.

This conclusion is entirely consistent with the language of the B.C.Z.R. and the case law. As noted above, Section 502.3 establishes the time schedules for any special exception use. Therein, it is stated that the use must be utilized within two years from the date of the final Order granting same or such longer period not exceeding 5 years. Moreover, that section states that any special exception use which requires construction for its utilization shall be deemed to have been vested within its authorized time, only, if such construction shall have commenced during the authorized period; provided that said construction is thereafter pursued to completion with diligence. Thus, a two pronged test is provided in those cases where construction for the use is required. First, actual construction must commence and, second, said construction must be completed with due diligence. As stated above, there was no construction on this site within the mandated timeframe.

Also relevant is a review of Section 101 of the B.C.Z.R. Therein, definitions of the words used throughout the regulations are listed. The section does not define construction. However, consistent with the mandate

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Date 6/1/89
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R. *David L. Martin*

LIST OF DRAWINGS

COVER SHEET

CIVIL

- C-1 SITE PLAN
- C-2 SITE PLAN & PROFILES
- C-3 SITE PLAN, POROUS PAVEMENT & WATER QUALITY
- C-4 SEDIMENT & EROSION CONTROL PLAN
- C-5 SEDIMENT & EROSION CONTROL PLAN

LANDSCAPING

- L-1 LANDSCAPE PLAN, PLANT LIST, GENERAL NOTES

ARCHITECTURAL

- A-1 FLOOR PLAN, FINISH SCHEDULE, DETAILS & NOTES
- A-2 ELEVATIONS & SECTIONS
- A-3 ROOF PLAN, REFLECTED CEILING PLAN & DETAILS
- A-4 DETAILS
- A-5 DOOR & WINDOW SCHEDULES, TOILET PLANS, EXPANSION & CONTROL JOINTS & MISCELLANEOUS DETAILS

STRUCTURAL

- S-1 FOUNDATION PLAN & DETAILS
- S-2 ROOF FRAMING PLAN & DETAILS
- S-3 DETAILS
- S-4 SECTIONS, DETAILS & GENERAL NOTES

MECHANICAL

- M-1 FLOOR PLAN & SCHEDULES
- M-2 SYMBOLS & DETAILS

PLUMBING

- P-1 FLOOR PLAN & RISER DIAGRAMS
- P-2 SYMBOLS, SCHEDULES & DETAILS

ELECTRICAL

- E-1 SITE PLAN
- E-2 LIGHTING & POWER PLAN
- E-3 ELECTRICAL RISER DIAGRAM, PANEL SCHEDULES & SYMBOLS

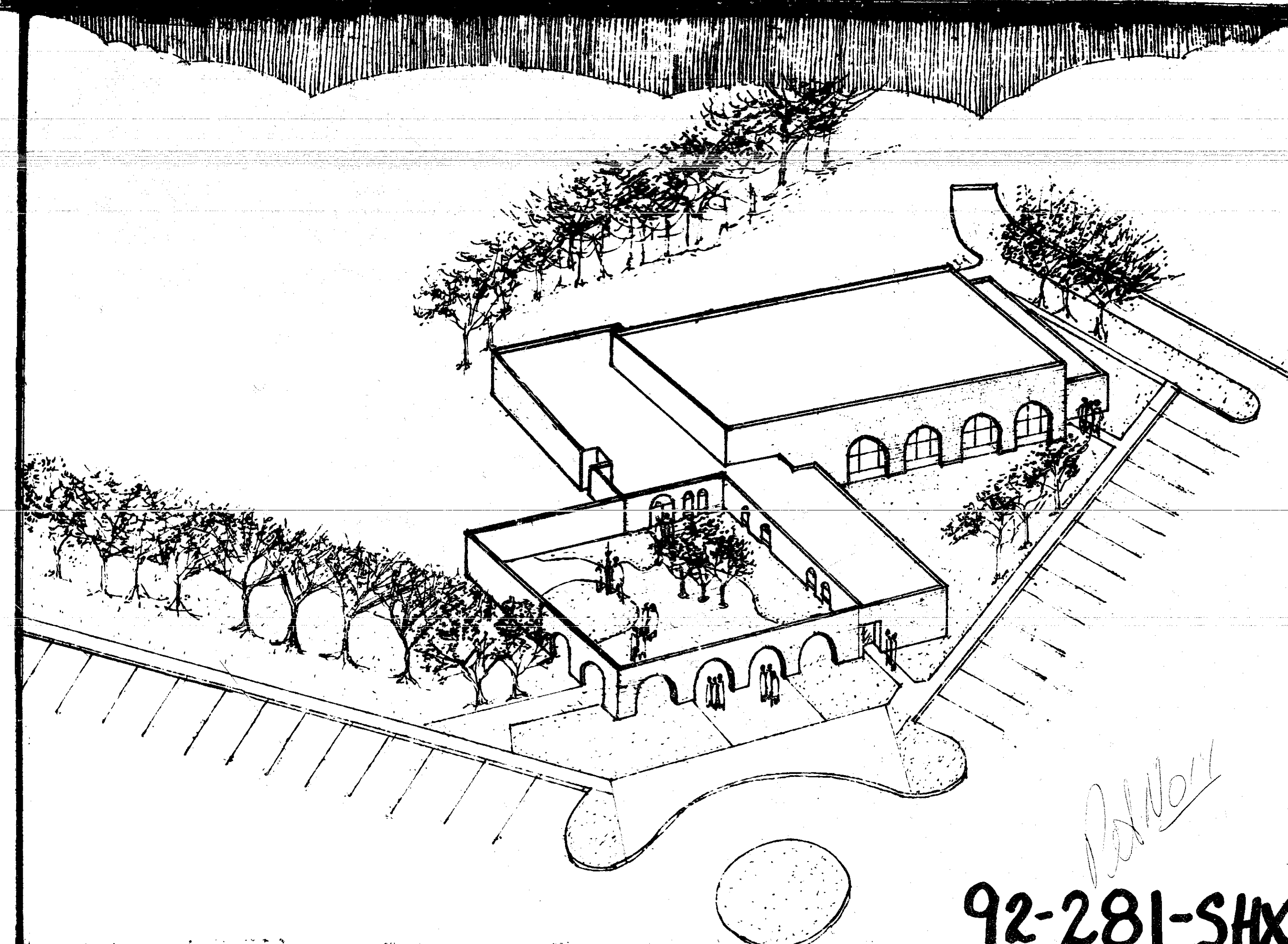
KITCHEN EQUIPMENT

- K-1 EQUIPMENT PLAN & EQUIPMENT SCHEDULE

BUILDING CHARACTERISTICS & DESIGNATION:

1. USE GROUP: A-4, PRAYER HALL, CLASS 'C' ASSEMBLY
2. TYPE OF CONSTRUCTION: 2-C UNPROTECTED, APPLICABLE CODE TO PROJECT: 1984 BOCA
3. APPROXIMATE GROSS AREA (PHASE I): 8250 SQ. FT. EXCLUSIVE OF OUTER COURT. HEIGHT: 1-STORY
4. EXTERIOR CORES/LOBBY PARTITIONS: 1-HR.; DOORS: 1-HR.; CEILING: 1-HR.
5. PRAYER HALL: CEILING: NON-RATED; 15 EXITS (21'-0" TOTAL EXIT WIDTH)
6. MEETING PARTITION: 1-HR.; CEILING: EXPOSED CONSTRUCTION
7. STORAGE RM.: SPRINKLED; CEILING: NON-RATED; DOOR TO HALL: NON-RATED
8. KITCHEN: DOORS (KITCHEN TO PRAYER HALL): NON-RATED; CEILING: NON-RATED (KITCHEN EXHAUST TO HAVE FIRE SUPPRESSION SYSTEM)
9. CONFERENCE RM., ADMINISTRATIVE SUITE, TOILETS - CEILING: NON-RATED
10. JANITORS CLOSET - NON-SPRINKLED; CEILING: NON-RATED

NOTE: USE OF CONFERENCE RM.: ASSEMBLY WITHOUT FINE, SEATS/UNCONCENTRATED (TABLE & CHAIRS)



92-281-SHXA

FELLOWSHIP HALL & AUXILIARY FACILITIES (CHURCH HALL)

PHASE I

NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH, SHAWAN RD, HUNT VALLEY, MARYLAND
P.O. BOX 594, HUNT VALLEY, MARYLAND 21030 ● (301) 252-6720

OWNER REP.

RAMON JADRA

109 WABASH AVENUE, REISTERTOWN, MARYLAND, 21136

● (301) 833-2272

ARCHITECT

SAM Z. SIMAIKA, D.A.R.C.H., AIA ARCHITECTURAL CONSULTANT

306 PINEWOOD AVENUE, SILVER SPRING, MARYLAND 20901

● (301) 593-3717

CIVIL ENGINEER

MAISTE & WATTS, INC.

2923 CHENOA AVENUE, BALTIMORE, MARYLAND 21234

● (301) 882-0321

STRUCTURAL ENGINEER

THE WATKINS PARTNERSHIP

1651 CROFTON BOULEVARD, CROFTON, MARYLAND 21114

● (301) 858-1089

M/E ENGINEER

OH & CHEN ASSOCIATES, P.A.

11900 PARKLAWN DRIVE, ROCKVILLE, MARYLAND 20852

● (301) 231-6006

LANDSCAPE ARCHITECT

SAM Z. SIMAIKA, D.A.R.C.H., AIA ARCHITECTURAL CONSULTANT

306 PINEWOOD AVENUE, SILVER SPRING, MARYLAND 20901

● (301) 593-3717

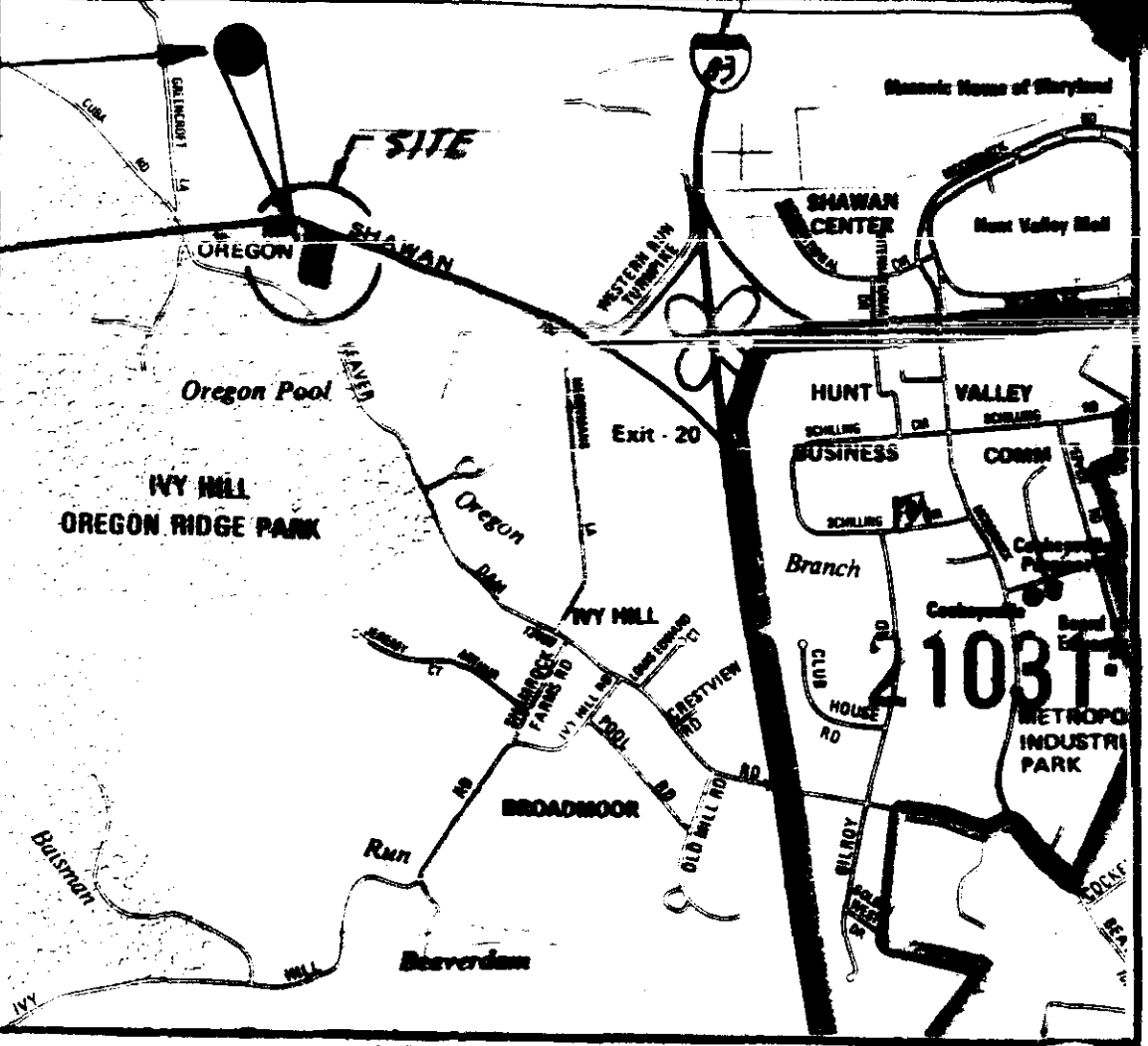
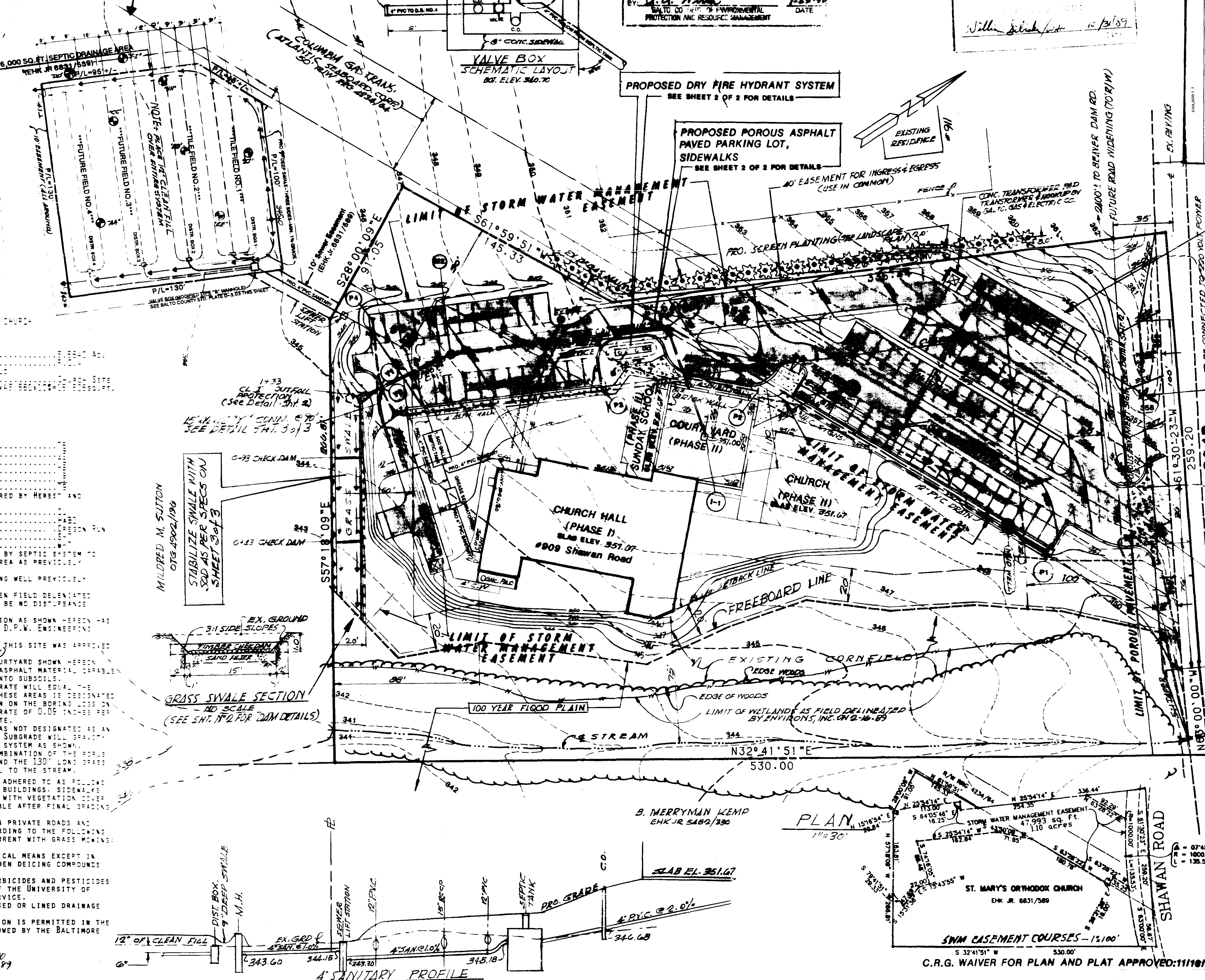
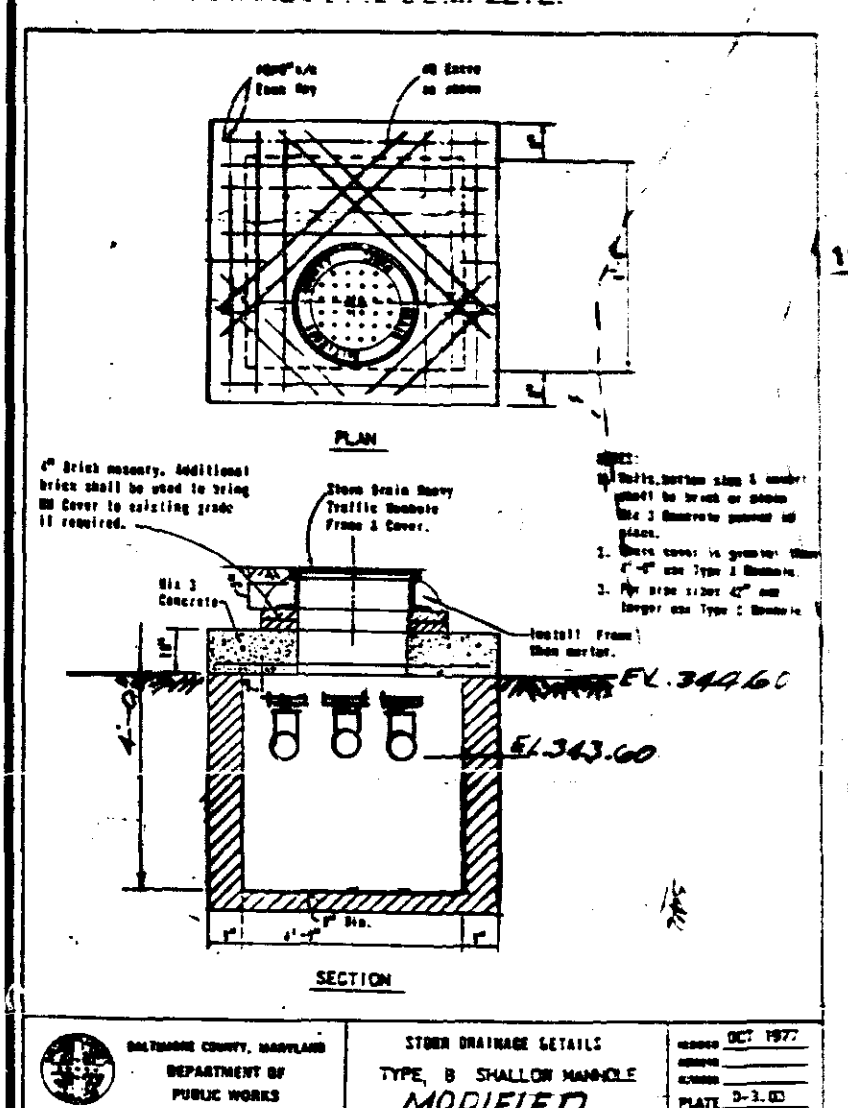
KITCHEN CONSULTANT

STANCO CORPORATION

2001 WINDSOR AVENUE, BALTIMORE, MARYLAND 21217

● (301) 462-6400

NOTE:
NO GRADING TO OCCUR IN THE SEPTIC AREA UNTIL
INSTALLATION OF SEPTIC SYSTEM.
NOTE:
DO NOT INSTALL TILE SYSTEM WHEN GROUND IS DAMP
SO AS NOT TO COMPACT THE SURFACE.
NOTE:
PRIOR TO GRADING IN THE SEPTIC AREA OR CONSTRUCTION
OF SEPTIC FIELD, CONTRACTOR MUST HAVE THE SYSTEM
STAKED OUT BY A REGISTERED SURVEYOR AND CALL D.E.P.R.M.
WHEN STAKEOUT IS COMPLETE.



LOCATION MAP
1"=2000'

COUNTY BOARD OF APPEALS CASE #84-130
ORDER GRANTED SEPT. 19, 1984
WITH THE FOLLOWING RESTRICTIONS:

1. Compliance with CRG requirements
2. A detailed landscaping plan shall be submitted to and approved by the Current Planning and Development Division of the Office of Planning and Zoning
3. Approval of a site plan by the Office of Planning and Zoning

NOTES ON RESTRICTIONS:

1. C.R.G. WAIVER FOR PLAN AND PLAT APPROVED ON 11/18/1988
2. LANDSCAPE PLAN HAS BEEN SUBMITTED TO PLANNING DEPT. FOR REVIEW
3. SITE PLAN HAS BEEN SUBMITTED TO PLANNING AND ZONING FOR REVIEW

GENERAL NOTES

1. AREA OF PROPERTY
2. EXISTING AND PROPOSED ZONING
3. EXISTING USE-WOODLANDS & CORN FIELD
4. PROPOSED USE
5. AREA OF PROPOSED BUILDING
6. PARKING REQUIREMENTS
7. PARKING PROVIDED
8. PARKING SPACES PROVIDED
9. SOILS DATA SHOWN HEREON WAS PREPARED BY HERBERT AND ASSOCIATES
10. SOILS TYPES (33% OF SITE)
11. WATERSHED (67% OF SITE)
12. SEWER PLAN DESIGNATION
13. WATER PLAN DESIGNATION
14. SEWERAGE SERVICE WILL BE PROVIDED BY SEPTIC SYSTEM TO APPROVED 16,000 SQ. FT. DISPOSAL AREA AS PREVIOUSLY APPROVED BY D.E.P.R.M.
15. WATER SERVICE WILL BE FROM EXISTING WELL PREVIOUSLY APPROVED BY BALTIMORE COUNTY
16. THE WETLANDS SHOWN HEREON HAVE BEEN FIELD DELINEATED BY ENVIRON, INC., AND THERE WILL BE NO DISTURBANCE THEREOF
17. THE 100 YEAR FLOOD PLAIN DELINEATION AS SHOWN HEREON HAS BEEN APPROVED BY BALTIMORE COUNTY D.P.W. ENGINEERING DEPARTMENT
18. STORM WATER MANAGEMENT WAIVER FOR THIS SITE WAS APPROVED ON MARCH 23, 1989 (QUANTITY ONLY)
19. THE PARKING LOT, SIDEWALKS AND COURTYARD SHOWN HEREON WILL BE PAVED BY APPROVED POROUS ASPHALT MATERIAL CAPABLE OF DISCHARGING DRAINAGE RUNOFF INTO SUBSILS.
20. THE DRAINAGE RUNOFF INFILTRATION RATE WILL EQUAL THE EXISTING RATE AS GRADING WITHIN THESE AREAS IS DESIGNATED TO BE IN THE 0'-3' LIMITS AS SHOWN ON THE BORING LOGS ON SHEET NO. 2, WITH AN INFILTRATION RATE OF 0.05 INCHES PER SQ. FT. AND LESS IN MAJORITY OF SITE
21. THE STONE SUB-BASE SHOWN HEREIN WAS NOT DESIGNATED AS AN INFILTRATION OR STORAGE FACILITY. SUBGRADE WILL BE DRAIN ALL RUNOFF INTO STORM DRAIN SYSTEM AS SHOWN
22. WATER QUALITY IS PROVIDED BY A COMBINATION OF THE PAVING AND SUB-SURFACE DESIGN AND THE 120' LONG GRASS SWALE FROM THE STORM DRAIN OUTFALL TO THE STREAM
23. BEST MANAGEMENT PRACTICES WILL BE ADHERED TO AS FOLLOWS
24. NO GRADING, CLEANING OR CONSTRUCTION IS PERMITTED IN THE STREAM BUFFER AREA EXCEPT AS FOLLOVED BY THE BALTIMORE COUNTY WATER QUALITY MANUAL

MAISTE & WATTS, INC.
SURVEYORS & ENGINEERS
2923 CHENOAK AVE. BALTIMORE, MD. 21234 (301)882-0321

OWNER:
SAINT MARY'S ORTHODOX CHURCH
C/O RAMON JADRA 189 WABASH AVE.
REISTERSTOWN, MARYLAND 21136

ARCHITECTURAL CONSULTANT:
SAM Z. SIMAIKE D.Arch., A.I.A.
306 PINWOOD AVE., SILVER SPRING, MARYLAND

NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH
8-TH ELECTION DISTRICT BALTIMORE COUNTY, MARYLAND

SHEET 1 OF 3
DATE 11/26/1989
SCALE AS SHOWN
JOB NUMBER 87-12

1. PAVED ACCESS MUST BE PROVIDED TO WITHIN 5 FEET OF THE CONNECTION.
2. CONNECTION SHOULD BE 75 TO 100 FEET FROM BUILDING AS LOCATED BY LOCAL FIRE DEPT. PRIOR TO CONSTRUCTION.
3. DRY HYDRANT MUST BE PROTECTED BY (4) 6" DIA. CONCRETE PILES 5 FEET DEEP. PILES SHOULD BE INSTALLED ON ALL 4 SIDES OF THE HYDRANT.
4. NO ACCESS WILL BE ALLOWED OVER TOP OF TANK.
5. PRIOR TO COVERING ANY PIPE, IT MUST BE INSPECTED AND FLUSHED BY THE LOCAL FIRE DEPT.
6. FINAL ACCEPTANCE FLOW TEST CONDUCTED BY THE LOCAL FIRE DEPT.
7. BURIED TANK AND PIPING SHALL BE PAINTED WITH 2 COATS OF BITUMASTIC PAINT. ALL ABOVE GROUND STEEL SHALL RECEIVE ONE COAT OF PRIMER AND 2 COATS EPOXY PAINT.
8. INSTALL INSULATION MATERIAL BETWEEN HOLD DOWN STRAPS AND TANK.
9. ALL EXCAVATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING O.S.H.A.

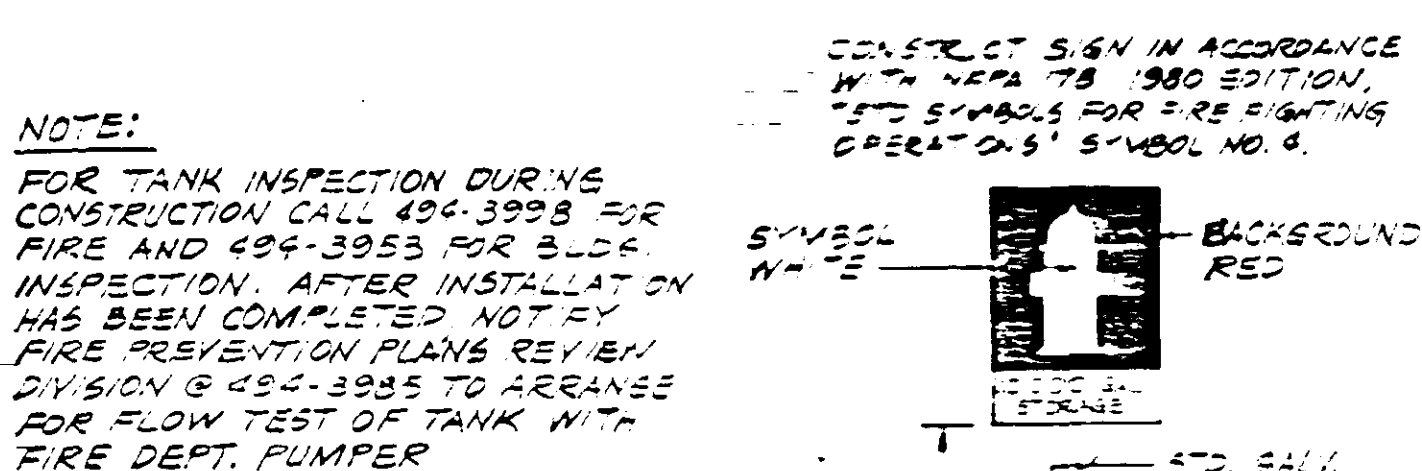


Diagram of a 10,000 Gallon Fiberglass Tank. The tank is rectangular with rounded ends, enclosed in a dashed line. Labels and features include:

- Top Left:** A vertical dimension line indicates a height of 15'.
- Top Right:** A label "PG. OF WAY LINE" with an arrow pointing to a dashed line.
- Left Side:** A vertical dimension line indicates a height of 0'.
- Top Center:** A label "CONCRETE SLAB" above a rectangular area.
- Top Left of Slab:** A label "SUCTION" above a circular symbol.
- Top Center of Slab:** A label "VENT" above a circular symbol.
- Top Right of Slab:** A label "DEPTH CHECK" above a circular symbol.
- Bottom Center of Slab:** A label "ACCESS" above a circular symbol.
- Right Side:** A label "FILL" above a circular symbol.
- Bottom Center:** A label "10,000 GALLON FIBERGLASS TANK" with an arrow pointing to the tank.
- Bottom Right:** A label "24' ROAD WAY" with an arrow pointing to a dashed line.
- Bottom Center:** A label "EDGE OF ROAD" with an arrow pointing to a dashed line.
- Right Side (Handwritten):** A note "NOT A FILL" with an arrow pointing to the "FILL" symbol.
- Right Side (Handwritten):** A note "FILLED" with an arrow pointing to the "FILL" symbol.

- (1) The location of the tank must be approved by the Baltimore County Fire Department before starting construction.
- (2) All excavation and bracing shall be in accordance with the County, State, Federal and O.S.N.A. regulation.
- (3) Backfill will be pea gravel or CR-6 stone.
- (4) A flow test will be conducted by the Fire Department before acceptance by Baltimore County.

DATE	REVISIONS
DATE	REVISIONS
5/10/90	As per comments of 1/29/90
12-2-89	As per comments of 11-27-89
7/7-91	F.N. 5Ys T&M

2923 CHENOAK AVE. BALTIMORE MARYLAND 21234 (301) 882-0321



- 2.5.5.4. Workmanship
 - 1. Work shall be done expeditiously throughout and without staining or damage to other unworked work.
 - 2. Water transmission between existing and new paving work shall and flow.
 - 3. Exposed surface shall be smooth, uniform, porous, and given to appearance shown.
 - 4. Free immediately to grade, all minor surface projections and edges

[illegible]

6. MIX OF ASPHALTIC CONCRETE SHALL BE 5.75 TO 6 PERCENT OF WEIGHT OF DRY AGGREGATE.

7. ASPHALTIC GRADE SHALL MEET AASHTO SPECIFICATION #20 FOR 85 TO 100 PENETRATION ROAD ASPHALT AS A BINDER IN THE NORTHERN UNITED STATES, 65 TO 80 IN THE MIDDLE STATES, AND 50 TO 65 IN THE SOUTH.

(8) Aggregate grading shall be as specified in Table 3-3. (See Table 5.7.3)

*** MINIMUM INFILTRATION RATE (fc)**
@ 0.8' to 3.0'

* fc=0.00 B-3	* fc=0.02 B-2	* fc=0.02 B-1
<p>Topsoil</p> <p>1 Brown moist CLAY & SILT. some of sand, trace rock frags (CL)</p> <p>3</p> <p>6 Brown and gray moist clayey SILT, some of sand, trace is some rock frags with thin coarse sand @ 3.5' - 4.5' (BD)</p> <p>9</p> <p>12 Brown very moist Silty CLAY, little of sand, trace rock frags (CD)</p> <p>15</p>	<p>Topsoil</p> <p>1 Dark red moist Silty CLAY, trace f sand (CD)</p> <p>3</p> <p>6 Brown moist CLAY & SILT, little of sand (CL)</p> <p>9</p> <p>12 Light brown moist Silty CLAY, little of sand, trace rock frags (CD)</p> <p>15</p>	<p>Topsoil</p> <p>1 Reddish brown moist Silty CLAY, some of sand, trace rock frags (CD)</p> <p>3</p> <p>6</p> <p>9</p> <p>12 Brown moist Silty CLAY, little of sand, trace rock frags (CD)</p> <p>15</p>

1 day after completion;
hole dry and caved @ 3.8'

1 day after completion;
hole dry and caved @ 4.5'

1 day after completion;
hole dry and caved @ 7.8'

TYPE Y-1
YARD INLET

EX. GROUND
PRO. GRADE

10.15 CMPS
6.23 CMPS

348.27
346.09

0.752 x 3
0.7400

M1
I-1

350
345
340
335

Diagram of a timber check dam cross-section. The dam is 12 ft high and 12 ft wide at the top. It has a 1.30% slope on the left side, a 1.50% slope on the right side, and a 1.68% slope on the right side. The dam is labeled "TIMBER CHECK DAM (SEE DETAILS)" and "EX. GROUND".

2-2" WHT TREATED TIMBERS BOLTED WITH
4" GALV. BOLTS @ 2'-0" O.C.

END TREATMENT

SAND FILTER

FILTER FABRIC

NO. 2 STONE

SAND FILTER

FILTER FABRIC (NIRAC 150-N)

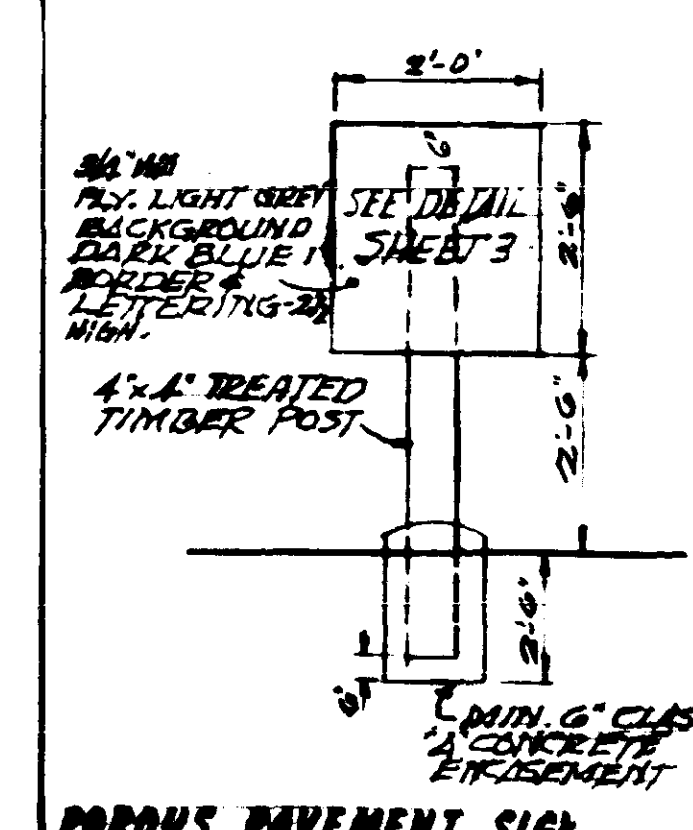
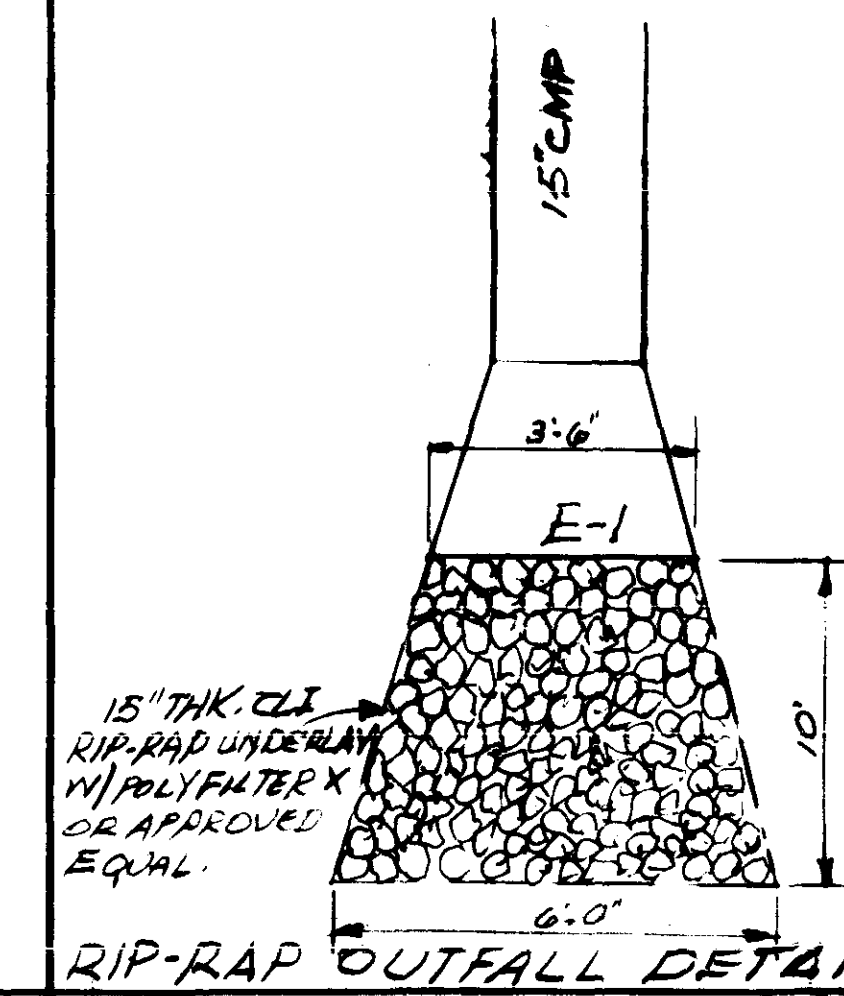
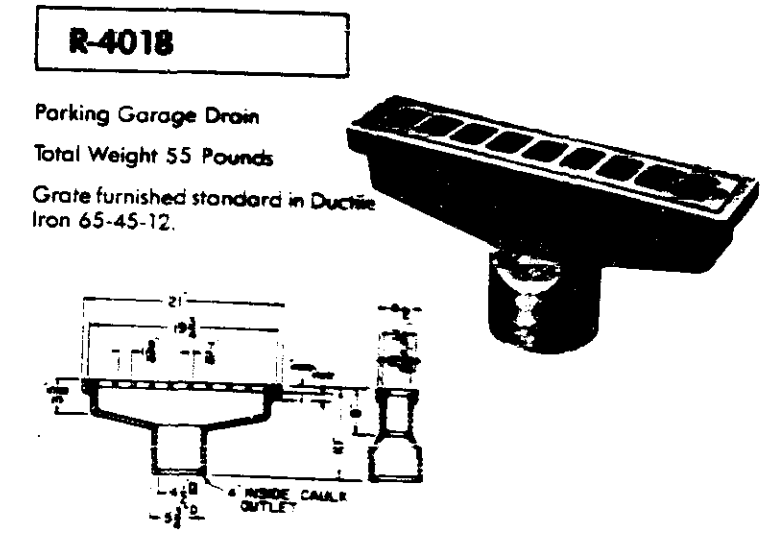
3.5

3.5

1.0

2.0


NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH PROFILES AND DETAILS



APPROVED: G. A. Hurd Chief
7-23-90
Storm Water Management Division
BALTO. CO. DEPT. OF
ENVIRONMENTAL PROTECTION (M)
AND RESOURCE MANAGEMENT 7/24
Approved for SWM 8-23-90 wh

David M. Jones

STATE OF MARYLAND
DAVID C. JONES
1440
PROFESSIONAL ENGINEER



SHEET 2 OF 3	DATE 1/26/1989 SCALE AS SHOWN	JOB NUMBER 07-10
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SEQUENCE OF OPERATIONS

1. NOTIFY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCES MANAGEMENT, SEDIMENT CONTROL DIVISION, (887-3226) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
2. CLEAR AND GRUB FOR SEDIMENT & EROSION CONTROL MEASURES AND DEVICES ONLY.
3. INSTALL ALL SEDIMENT & EROSION CONTROL MEASURES AND DEVICES.
4. NOTIFY BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCES MANAGEMENT, SEDIMENT CONTROL DIVISION, UPON COMPLETION OF SAID INSTALLATION.
5. WITH THE APPROVAL OF BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCES MANAGEMENT, AND THE SEDIMENT CONTROL INSPECTOR, GRADE SLOPES PER PLAN, EXCEPT GRASS SWALE ON SOUTH SIDE OF PROPERTY.
6. INSTALL STORM DRAINAGE SYSTEM AND 12" PERFORATED PARKING LOT UNDERDRAINS, DIRECT OUTFALL FROM E-1 ONTO EARTH DIKE TO TRAP NO. 1.
7. PLACE STONE BASE IN PARKING LOT AREAS.
8. BEGIN BUILDING CONSTRUCTION FOR PHASE ONE (MEETING HALL).
9. STABILIZE ALL AREAS TO REMAIN AS LAWN OF SWALES.
10. INSTALL AND STABILIZE GRASS SWALE ON SOUTH SIDE OF PROPERTY. INSTALL CHECK DAMS.
11. REMOVE SILT FENCE AT OUTFALL OF GRASS SWALE.
12. WITH APPROVAL OF D.E.P.R.M., SEDIMENT CONTROL DIVISION, REMOVE SEDIMENT CONTROL TRAP NO. 1 AND EAP-4 DIKES.
13. FINISH GRADING SLOPE AREAS NOT PREVIOUSLY GRADED DUE TO EARTH DIKE LOCATION. STABILIZE THESE AREAS.
14. REMOVE SILT FENCE PROTECTING TRAP NO. 1 AND AREAS REFERRED TO IN ITEM 13.
15. STABILIZE ANY DISTURBED AREAS CAUSED BY WORK UNDER ITEM 14.

CONTRACTOR'S NOTE:

THE CONSTRUCTION SHOWN HEREON MUST BE CERTIFIED TO THE BALTIMORE COUNTY D.E.P.R.M.

A REGISTERED PROFESSIONAL ENGINEER MUST BE NOTIFIED SUFFICIENTLY IN ADVANCE OF CONSTRUCTION SO THAT HE CAN ARRANGE FOR:

1. INSPECTION OF SUBGRADE PRIOR TO INSTALLATION OF STONE BASE.
2. INSPECTION OF SUB-BASE PRIOR TO PLACEMENT OF POROUS PAVEMENT.
3. INSPECTION OF EXCAVATION FOR CHECK DAMS.

NOTE:

STORM WATER MANAGEMENT APPROVED UNDER BILL # 101-84

THE POROUS PAVEMENT SHOWN HEREON WILL BE MAINTAINED BY THE PROPERTY OWNER.

6.1 ENGINEER'S CERTIFICATION

I hereby certify that this plan has been prepared by me or under my supervision and meets the minimum standards of the Baltimore County Department of Public Works and the Baltimore County Soil Conservation District.

SIGNED [Signature] P.E. 4442
DATE 8-8-89

6.2 DEVELOPER'S/LANDOWNER'S CERTIFICATION

I/We hereby certify that all proposed work shown on these construction drawing(s) and on the approved sediment control drawing(s) will be accomplished pursuant to these plans. I/We also understand that it is my/our responsibility to have the construction supervised and certified, including the submittal of "As-Built" plans within thirty (30) days of completion, by a registered Professional Engineer.

SIGNED [Signature] DATE 8-8-89

6.3 "AS-BUILT" CERTIFICATION

I hereby certify that the facility shown on this plan was constructed as shown on the "As-Built" plans and meets the approved plans and specifications.

SIGNED _____ P.E.
DATE _____

CONTRACTORS' AS BUILT NOTE

As-Built Plans & Certification are required for this Stormwater Management Facility. These must be prepared and sealed by a REGISTERED PROFESSIONAL ENGINEER. Baltimore County will not perform the inspection or prepare the As-Built Plans or Certification. The Stormwater Management Permit SECURITY will not be released until the As-Built Plans & Certification are approved by Baltimore County.

In order to prepare the required As-Built Plans & Certification this Stormwater Management Facility must be INSPECTED by the ENGINEER at specific stages during construction as required by the current Baltimore County STORMWATER MANAGEMENT POLICY AND DESIGN MANUAL. The Contractor shall notify the ENGINEER at least five (5) Working Days prior to starting any work shown on these plans.

TABLE 3-3.

POROUS (OPEN-GRADED) ASPHALT CONCRETE FORMULATION*

Material	Screen	Weight, %	Volume, %	Width, mm	Probable Particle Data	
					Weight, g	No. in 100g of Asphalt Concrete
Aggregate	Through 1/2"	2.8	2.2	10.7	1.66	1.7
	Through 1/8"	59.6	46.3	8.0	.69	85.5
	Through #4	17.0	13.3	4.0	.08	195.4
Sub-total--		79.4	61.8			282.6
Coarse Aggregate						
Asphalt	Through #8	2.8	2.2	2.0	.0109	255.6
	Through #16	10.4	8.0	1.0	.00136	7647
	Through #200	1.9	1.5	.06	.000234	6462
Air		5.5	10.5			
		0	16.0			
		100.0	100.0			

CAUTION Porous Pavement

NO ABRASIVES, SNOW REMOVAL
BY MECHANICAL MEANS ONLY,
DO NOT APPLY SAND

NO RESURFACING WITH NON-
POROUS ASPHALT

NO HEAVY VEHICULAR TRAFFIC
ALLOWED

POROUS PAVEMENT SIGN DETAIL

I. SITE PREPARATION

AREAS UNDER THE WORKS SHALL BE CLEARED, GRUBBED AND THE TOPSOIL STRIPPED TO REMOVE ALL TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL TO FACILITATE CLEAN OUT AND RESTORATION. IT IS RECOMMENDED THAT THE PERMANENT POOL AREA BE CLEARED OF ALL BRUSH AND TREES.

II. EARTH FILL

MATERIAL

THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREA OR AREAS. IT SHALL BE FREE FROM ROOTS, STUMPS, WOOD, RUBBISH, OVERSIZE STONES, FROZEN OR OTHER OBJECTIONABLE MATERIALS. SOIL MATERIAL SHALL BE UNIFIED SOIL.

PLACEMENT

AREAS OF WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. FILL MATERIALS SHALL BE PLACED IN 8 INCH MAXIMUM THICKNESS (BEFORE COMPACTION) LAYERS WHICH ARE TO BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST POROUS BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT.

COMPACTION

THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVERSED BY NOT LESS THAN ONE TREAD TRACK OF THE EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT, RUBBER TIERED OR VIBRATORY ROLLERS. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL, IT IS TOO WET TO COMPACT PROPERLY. FILL MATERIAL HAS TO BE COMPACTED TO 95% OF AASHTO SPEC. TO Q9 OR EQUIV.

III. STRUCTURAL BACKFILL

BACKFILL MATERIAL SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL. MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR DRIVE EQUIPMENT OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF TWENTY-FOUR INCHES OR GREATER OVER THE STRUCTURE OR PIPE. BACKFILL MATERIAL SHALL BE UNIFIED SOIL CLASSIFICATION SC OR CL.

IV. PIPE CONDUITS

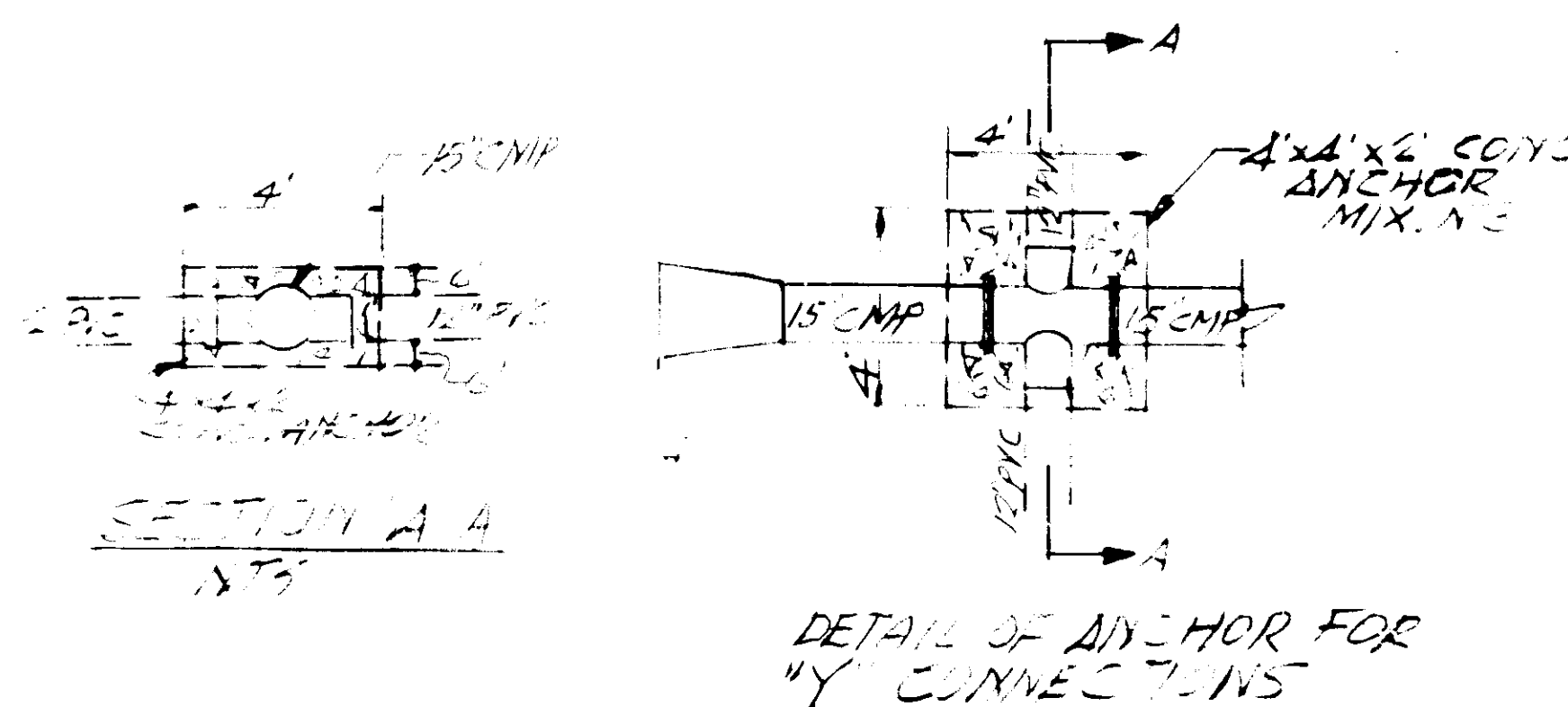
1. MATERIALS - (STEEL SHALL BE GALVANIZED AND FULLY BITUMINOUS COATED AND SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-190 TYPE C-1 WITH WATER TIGHT COUPLING BANDS. ANY BITUMINOUS COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. DIMPLE BANDS SHALL NOT BE USED.

2. P.V.C. PLASTIC DRAIN PIPE SHALL MEET THE REQUIREMENTS OF A.S.T.M. D-2729. WHEN PERFORATED THE PIPE SHALL MEET THE REQUIREMENTS OF A.A.S.H.T.O. M-252.

3. RCCP - REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF A.A.S.H.T.O. M-170.

V. CONCRETE

CONCRETE SHALL MEET MINIMUM REQUIREMENTS SET FORTH IN MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR CONSTRUCTION & MATERIALS, SECT. 918 (PORTLAND CEMENT CONCRETE MIXTURES), MIX #5



DETAIL OF ANCHOR FOR
"Y" CONNECTIONS

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION WITH SOD

SPECIFICATIONS

1. CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD.
2. SOD SHALL BE MAINTAINED UNTIL AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND TWIG.
3. STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
4. INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIERS WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
5. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
6. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO ITS INSTALLATION.

IV. SITE PREPARATION

FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER B, BELOW.

- A. PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL TRASH, DEBRIS, AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
- B. WHERE THE SOIL IS ACID OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 2 TONS/ACRE OR 100 POUNDS PER 1,000 SQUARE FEET. IN ALL SOILS 1,000 POUNDS PER ACRE OR 25 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 FERTILIZER OR EQUIVALENT SHALL BE UNIFORMLY APPLIED AND MIXED INTO THE TOP 3 INCHES OF SOIL WITH THE REQUIRED LIME.

- C. ALL AREAS RECEIVING SOD SHALL BE UNIFORMLY FINE GRADED. HAND-PAKED EARTH SHALL BE SCARIFIED PRIOR TO PLACEMENT OF SOD.

VI. SOD INSTALLATION

- A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING OF SOD.
- B. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTHENURE. SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- C. ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SECURE THE SOD BY TAMPING AND PEGGING OR OTHER APPROVED METHODS.
- D. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PCE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.

VII. SOD MAINTENANCE

- A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHOULD BE DONE DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- B. AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND INSURE ESTABLISHMENT.
- C. FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED.
- D. MAINTENANCE OF ESTABLISHED SOD SHOULD FOLLOW SPECIFICATIONS OUTLINED IN TABLE 54-1.

APPROVED: [Signature] Chief
7-25-90
Storm Water Management Division
BALTO. CO. DEPT. OF
ENVIRONMENTAL PROTECTION C-018
AND RESOURCE MANAGEMENT 7/26/90
Approved for SWM 8-23-90



LEVEL OF MANAGEMENT: POROUS PAVEMENT AND WATER QUALITY
TYPE OF FACILITY: POROUS PAVEMENT AND WATER QUALITY

SHEET C-5

POROUS PAVEMENT AND
WATER QUALITY

NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH
NOTES AND CERTIFICATIONS

SHEET 3 OF 3
DATE 9/17/89
SCALE NONE
JOB NUMBER 87-108

MAISTE & WATTS, INC.
SURVEYORS & ENGINEERS

2923 CHENOA AVE. BALTIMORE MARYLAND 21234 (301) 882-0321

Drawing Title	DATE	REVISIONS
Check by		
Design by		
Check by		

of that section of the B.C.Z.R., reference is made to Webster's Third New International Dictionary for definition of the term "construction". Among the definitions offered in Webster's is that construction means "The act of putting parts together to form a complete integrated object." In applying this definition to the proposed use, construction would require some physical activity on the site resulting in the building of the Church hall. As noted above, there was no such activity. Thus, per the B.C.Z.R., the special exception use was not vested.

This conclusion is supported by the case law. A leading case on this issue is Rockville Fuel and Feed Company, Inc., v. Board of Appeals of the City of Gaithersburg, 26 Md. 117, 672 A.2d 117 (1972).

In Rockville, the Appellant had obtained a special exception to construct and operate a concrete batching plant. Thereafter, the local political subdivision enacted a change in the zoning ordinance forbidding the special exception use. In considering whether the applicant had a vested right, the Court noted "It is clear that even the obtaining of a building permit in furtherance of a then vested zoning use does not create a vested right constitutionally insulated against a change in the zoning ordinance forbidding the particular use." Rockville, infra, page 676. Thereafter, the Court concluded that the appellant had no vested right.

Moreover, within its opinion, the Court cited as authority the case of Ross v. Montgomery County, 252 Md. 497, 250 A.2d 635 (1969). In Ross, the landowner had, in fact, obtained a building permit to construct a permitted apartment hotel, and had poured one footing for the building in an attempt to vest the building permit. Nonetheless, the Court held that the property owner had not acquired a vested right against a subsequent amendment to the zoning ordinance which prohibited the use.

-12-

The majority rule which was stated in Rockville, infra, has been applied in non special exception cases. In Prince Georges County v. Equitable Trust Company, Inc., 44 Md. App. 272, 408 A.2d 737 (1979), the Court of Special Appeals considered the issue of a property owner's vested rights following the downzoning of the property by the local jurisdiction. In that case, the Court decided whether a property owner who had obtained a building permit and had commenced and completed substantial constructions on the property had vested rights. The Court followed the majority rule which requires substantial construction on the site in order for vesting to occur. Clearly, the Court required substantial physical activity on site for a vesting to occur. Other cases have reached similar results and have adopted consistent results. See Prince Georges County v. Sunrise Development Limited Partnership, 330 Md. 297, 623 A.2d 1296 (1993) and Pemberton v. Montgomery County, 275 Md. 363, 340 A.2d 240 (1975). As summarized in Board of County Commissioners v. Pritchard, 312 Md. 522, 540 A.2d 1139 (1988), wherein the Court stated "Thus, we have sustained zoning amendments which prevented or substantially altered a project when, prior to construction, but in anticipation of the continuation of the prior zoning, an owner: expended \$1,500,000 and dedicated \$800,000 worth of land in planning a 900,340 sq. ft. retail and office complex, i.d.; expended nearly \$260,000 on plans for a refinery and obtained a building permit (citations omitted); expended \$1,000,000 in planning an apartment development and obtained a building permit for 420 units (citations omitted); and obtained from a board of appeals, pursuant to an adjudication by this Court, a special exception for a concrete batching plant followed by a preliminary approval of a site plan (citations omitted)", page 1140.

-13-

Therefore, based upon the clear meaning of the applicable provisions of the B.C.Z.R., as well as the majority rule embraced by the appellate courts of this State, it is clear that the special exception obtained by St. Mary's Church was not vested and lapsed upon the Petitioner's failure to construct its building prior to October of 1989. As such, the authority for such construction was invalid at the time the Church was built and the present use of the property is, therefore, illegal.

Moreover, the doctrine of estoppel does not validate the special exception use. It is indeed true that the doctrine of estoppel can be applied "To municipal, as well as to private, corporations and individuals". Kent County Planning Inspector v. E.C.F. Abel, et al, 246 Md. 395 (1967), at pg. 400. However, as is well settled, estoppel does not apply when the act is in violation of the law and illegal. In Lipsett v. Parr, 164 Md. 222 (1953), the Court concluded, "The doctrine of equitable estoppel cannot be here invoked to defeat the municipality in the enforcement of its ordinances, because of an error or mistake committed by one of its officers or agents which has been relied on by the third party to his detriment", page 228. Thus, the improper issuance of the building permit by Baltimore County does not validate the special exception use.

I am not unkindful of the result which my decision will bring. In that the use is illegal, the Petitioner is faced with two alternatives, neither of which may be palatable. First, in that I have found the use illegal, the Petitioner may raze the proposed structure and return the site to its use prior to the granting of the special exception; i.e., a vacant lot. It may, thereafter, be redeveloped for other permissible purposes under the use regulations in the B.C.Z.R.

-14-

In the alternative, the Petitioner may, in essence, reinvent the wheel and start over. Under this alternative, the Petitioner would be required to repetition this office for special exception relief in an effort to legitimize the existing use.

This, in fact, may be the most preferable alternative from all parties' perspectives, including the community. It would allow for a public hearing to be held to examine the property and use, and to consider all impacts of the Church use. Moreover, implementation of proper restrictions, as they relate to landscaping, traffic control, and area of impermeable surface, could be considered and implemented if the special exception relief was granted.

Pursuant to the advertisement, posting of the property, and public hearing on these Petitions held, and for the reasons given above, the relief requested should be denied.

IT IS THEREFORE ORDERED, by the Zoning Commissioner for Baltimore County, this 7th day of June 1994, that, pursuant to the amended Petition for Variance, approval from Section 413.1.B. of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit two externally illuminated signs of 36 sq. ft. in lieu of the permitted single 30 sq. ft. sign, resulting in variances of one sign and 6 ft., be and is hereby DENIED; and,

IT IS FURTHER ORDERED that, pursuant to the amended Petition for Special Hearing, approval to amend the approved plan which granted a special exception in case No. 84-130-X, in accordance with the site plan submitted at the public hearing, be and is hereby DENIED; and,

IT IS FURTHER ORDERED that approval to amend restriction No. 2 in the Order issued in case No. 84-130-X so as to comply with the current Baltimore County Landscaping requirements, be and is hereby DENIED.

-15-

1. The Petitioner shall, within 90 days from the date of this Order, terminate the use of the subject property as a church and raze the existing improvements thereon; or, in the alternative, petition this office for special exception relief to permit the existing church use in an R.C. zone.

LAWRENCE E. SCHMIDT
Zoning Commissioner for
Baltimore County

(410) 887-4386

June 7, 1994

Joseph P. Katrick, Esquire
5814 Ebenezer Road
White, Marsh, Maryland 21162-1936

RE: Case No. 92-281-SPHXA
Petitions for Special Hearing, Special Exception and Variance
St. Mary's Orthodox-Catholic Church

Dear Mr. Katrick:

Enclosed please find the decision rendered in the above captioned case. The Petitions for Special Hearing, Special Exception and Variance have been denied, in accordance with the attached Order.

In the event the decision rendered is unfavorable to any party, please be advised that any party may file an appeal within thirty (30) days of the date of the Order to the County Board of Appeals. If you require additional information concerning filing an appeal, please feel free to contact our Appeals Clerk at 887-3391.

Very truly yours,

Lawrence E. Schmidt
Zoning Commissioner

LES:mmn
encl.
cc: Father George Romley
Jerry Sackleh
Ramon Jadra
Matti A. Kassir, P.E.
Sam Simelka, AIA Architect
Margaret Morrall, Valleys Planning Council
A. Douglas McComas, Falls Road Community Assoc.
Harvey L. Miller
Jeffrey Foreman

Petition for Special Hearing

to the Zoning Commissioner of Baltimore County

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Baltimore County Zoning Regulations, to determine whether or not the Zoning Commissioner and/or Deputy Zoning Commissioner should approve _____

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of the above Special Hearing advertising, posting, etc., upon filing of this Petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser Lessee:

Name
(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner:

Name
(Type or Print Name)

Signature

Address

City and State

Attorney's Telephone No.

Legal Owner(s):

Name
(Type or Print Name)

Signature

Name
(Type or Print Name)

Signature

Address

City and State

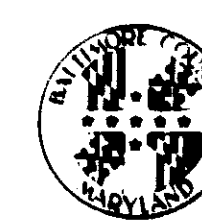
Name, address and phone number of legal owner, contract purchaser or representative to be contacted

Name

Address

City and State

Phone No.

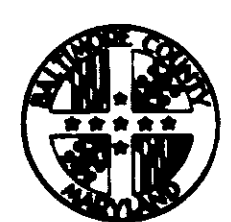


OFFICE USE ONLY
ESTIMATED LENGTH OF HEARING - 1/2HR. - 1HR. - 1 1/2HR. - 2HR.
AVAILABLE FOR HEARING
ALL MON./TUES./WED. - NEXT TWO MONTHS
REVIEWED BY: DATE: 4 HRS

ATTACHMENT TO PETITION FOR SPECIAL HEARING

SAINT MARY'S ORTHODOX-CATHOLIC CHURCH

an amendment to the Special Exception granted in Case No. 84-130-X for Mildred M. Sutton which granted a Special Exception to allow for a church in a R.C. 4 zone to allow the use of a part of the building from time to time as a Community Building. Petitioner further requests that approval be granted for the potential future building addition within the areas shown on the plat accompanying this Petition. Petitioner respectfully requests approval for these present and future uses as being fully in keeping with the purposes and intent of the Special Exception as originally granted.



Petition for Special Hearing

to the Zoning Commissioner of Baltimore County

for the property located at 909 SHAWAN ROAD, HUNT VALLEY, MD

which is presently zoned RC-4

This Petition shall be filed with the Office of Zoning Administration & Development Management. The undersigned, legal owner(s) of the property situated in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Hearing under Section 500.7 of the Zoning Regulations of Baltimore County, to determine whether or not the Zoning Commissioner should approve

SEE ATTACHMENT

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Hearing advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

Contract Purchaser/Lessee

N/A

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner

Joseph P. Katrick, Esq.

(Type or Print Name)

Signature

5814 Ebenezer Road 335-7507

White Marsh, Maryland 21162

City and State

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Legal Owner(s)

Saint Mary's Orthodox-Catholic Church

(Type or Print Name)

Signature

Joseph P. Katrick, Authorized Representative

(Type or Print Name)

Signature

909 Shawan Road

Hunt Valley, Maryland 21030

City and State

Joseph P. Katrick, Esq.

5814 Ebenezer Road 335-7507

White Marsh, Maryland 21162

City and State

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ESTIMATED LENGTH OF HEARING

ALL

REVIEWED BY

DATE

ATTACHMENT TO PETITION FOR SPECIAL HEARING

SAINT MARY'S ORTHODOX-CATHOLIC CHURCH

an amendment to the approved plan in the Special Exception granted in Case No. 84-130-X in accordance with the provided site plan and to amend restriction #2 to match current Baltimore County landscape requirements.

Petition for Special Exception

to the Zoning Commissioner of Baltimore County

The undersigned, legal owner(s) of the property situated in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for See Attachment

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

Contract Purchaser/Lessee

N/A

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner

Joseph P. Katrick, Esq.

(Type or Print Name)

Signature

5814 Ebenezer Road

White Marsh, Maryland 21162

City and State

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ALL

REVIEWED BY

DATE

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Legal Owner(s)

Saint Mary's Orthodox -- Catholic Church

(Type or Print Name)

Signature

Robert W. Cannon, Authorized Representative

(Type or Print Name)

Signature

909 Shawan Road

Cockeysville, Maryland 21030

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

Robert W. Cannon, Esquire

100 South Charles Street

Baltimore, Maryland 21201 332-8816

Address

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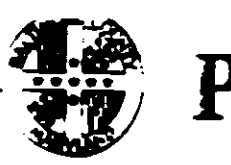
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ATTACHMENT TO PETITION FOR SPECIAL EXCEPTION

SAINT MARY'S ORTHODOX-CATHOLIC CHURCH

a Church; and a Special Exception for a Community Building in a part of the building from time to time, both in a R.C.4 Zone by modifying the use of the property as approved by Special Exception (Case No. 84-130-X) as depicted and described on the plat and description accompanying this Petition. Petitioner further requests that approval be granted for the potential future building addition within the areas shown on the plat accompanying this Petition.

Note: The description and plat are attached to the Petition for Special Hearing affecting the same property which is being filed simultaneously with this Petition for Special Exception.



Petition for Variance

to the Zoning Commissioner of Baltimore County

The undersigned, legal owner(s) of the property situated in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section 410.6 of the Zoning Regulations of Baltimore County, to use the herein described property for

Section 409.6 to permit 79 parking spaces in lieu of the required 92 parking spaces, requiring an increase of 113 parking spaces

during those times when the property is being used simultaneously for church purposes and community building purposes.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)

SEE ATTACHMENT

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

Contract Purchaser/Lessee

N/A

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner

Robert W. Cannon, Esquire

(Type or Print Name)

Signature

100 South Charles Street

Baltimore, Maryland 21201

City and State

Attorney's Telephone No: 332-8816

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Legal Owner(s)

Saint Mary's Orthodox-Catholic Church

(Type or Print Name)

Signature

Robert W. Cannon, Authorized Representative

(Type or Print Name)

Signature

909 Shawan Road

Cockeysville, Maryland 21030

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

Robert W. Cannon, Esquire

100 South Charles Street

Baltimore, Maryland 21201 332-8816

Address

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ESTIMATED LENGTH OF HEARING

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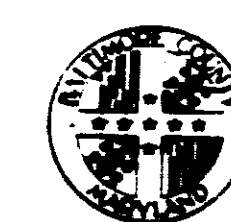
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CAB:1-00000

ATTACHMENT TO PETITION FOR ZONING VARIANCE
SAINT MARY'S ORTHODOX-CATHOLIC CHURCH

Petitioner's existing signs/bulletin boards provide informational identification to Saint Mary's Orthodox-Catholic Church and the day care services which are operated within the church property as a matter of right in the R.C.4 zone. The existing signs/bulletin boards are important to provide directional information to those looking for the facility and result in a reduction of traffic along Shawan Road by providing specific information. Granting the variance is in harmony with the spirit and intent of the zoning regulations, and would not result in substantial harm to public health, safety and general welfare. Denial of Petitioner's request would cause practical difficulty and unreasonable hardship.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty) Petitioner desires to utilize a part of the building on the site from time to time as a Community Building and to provide the needed parking for these uses in a manner that provides as much open space as possible in this R.C.4 area. Granting the variance is in harmony with the spirit and intent of the zoning regulations, and would not result in substantial harm to public health, safety and general welfare. Denial of Petitioner's request would cause practical difficulty and unreasonable hardship. Property is to be posted and advertised as prescribed by Zoning Regulations.



Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at 909 SHAWAN ROAD, HUNT VALLEY

which is presently zoned RC-4

This Petition shall be filed with the Office of Zoning Administration & Development Management. The undersigned, legal owner(s) of the property situated in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s)

SEE ATTACHMENT - SECTION I

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)

SEE ATTACHMENT - SECTION II

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

Contract Purchaser/Lessee

N/A

(Type or Print Name)

Signature

Address

City and State

Attorney for Petitioner

Joseph P. Katrick, Esq.

(Type or Print Name)

Signature

5814 Ebenezer Road

White Marsh, MD 21162-1936

City and State

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Legal Owner(s)

Saint Mary's Orthodox-Catholic Church

(Type or Print Name)

Signature

Joseph P. Katrick, Authorized Representative

(Type or Print Name)

Signature

909 Shawan Road

Hunt Valley, Maryland 21030

City and State

Name, address and phone number of legal owner, contract purchaser or representative to be contacted

Joseph P. Katrick, Esq.

5814 Ebenezer Road

White Marsh, MD 21162-1936

City and State

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ALL

REVIEWED BY

DATE

**THE VALLEYS
PLANNING COUNCIL, INC.**

212 Washington Avenue
P.O. Box 5402
Towson, Maryland 21285-5402
410-337-6877
410-296-5409 (FAX)

Mr. Lawrence Schmidt
Zoning Commissioner
400 Washington Avenue
Towson, MD 21204

February 25, 1994

RE: 92-281-SPHXA
St. Mary's Orthodox Church

Dear Mr. Schmidt:

On behalf of The Valleys Planning Council, I would like to support the request of the community for postponement of the Special Hearing for St. Mary's Orthodox Church, 909 Shawan Road, Keyville, MD.

I have been contacted by neighboring property owners and local community groups who did not receive notification of the hearing and were not able to observe the posted zoning sign because of construction work at the site and on Shawan Road.

Because the zoning problems with this development have been well-documented, if the neighbors are well-documented and unharmed, we support their need for time to review the St. Mary's plans, request for variance, new landscape plan, etc.

Thank you for your consideration of this matter.

Sincerely,

Margaret Worrall
Margaret Worrall
Executive Director

**THE VALLEYS
PLANNING COUNCIL, INC.**

212 Washington Avenue
P.O. Box 5402
Towson, Maryland 21285-5402
410-337-6877
410-296-5409 (FAX)

May 25, 1994

Re: St. Mary's Orthodox Church
92-281-SPHX

Dear Mr. Schmidt:

On behalf of The Valleys Planning Council, I request a clarification of the precise nature of this special hearing.

Section I is clear in that it requests a variance on the permitted signage.

Section II addresses "an amendment to the approved plan in the Special Exception granted in case No. 84-130-X in accordance with the provided site plan and to amend restriction #2 to match current Baltimore County landscape requirements."

On January 26, 1994, in a letter to Arnold Jablon, Joseph Katrick, attorney for St. Mary's, noted that the Church is withdrawing the Petition for Special Exception 92-281-SPHXA. What was withdrawn, and what site plan is being amended?

Further clarification is needed in regard to the building which was constructed at 909 Shawan Road.

The opinion of the Board of Appeals, September 19, 1984, states: "The site would contain one 7500 square foot building, a well and septic system, a small sign, outside lighting on the parking lot only, and the required parking. The surrounding community association did not object to the proposal."

Yet in a letter to The Valleys Planning Council (at the time the building in question was being rented out to commercial caterers) from zoning inspector, Donna Thompson, dated July 2, 1991, we were informed that "The plan that was submitted for the Special Exception case 84-130-X is in fact not the same plan used for the building permit submitted to Baltimore County in 1982."

Ms. Thompson concludes in this letter, "It is the opinion of this office that the banquet facilities as described in The Sunday Sun of June 2, 1991, 'Suitable Setting for a Special Celebration' could be that of a community building (banquet hall) and is not in the spirit of the special exception granted for a church. A community building may have been permitted with a special exception in an RC4 zone."

Most recently, Pat Keller, Deputy Director of the Office of Planning and Zoning, wrote to Arnold Jablon, Director of ZADM, February 18, 1994, that "A review of case no. 84-130-X indicates that the subject property has been improved beyond what was originally envisioned. At the time of the hearing a typical church

**THE VALLEYS
PLANNING COUNCIL, INC.**

212 Washington Avenue
P.O. Box 5402
Towson, Maryland 21285-5402
410-337-6877
410-296-5409 (FAX)

October 14, 1994

Re: St. Mary's Orthodox Church
Case No.: 92-281-SPHXA

Dear Mr. Hackett:

On behalf of The Valleys Planning Council, I would like to request respectfully that the Board of Appeals DENY the request for postponement in the above referenced case.

The community and Baltimore County have been attempting to resolve the zoning issues with regard to St. Mary's Church since 1991.

In October 1991 a permanent injunction prohibiting an illegal use and further construction was filed by the Office of Zoning Enforcement, and the officials of St. Mary's were notified that they must ask for a special hearing to resolve the zoning questions.

Since then, the injunction has been violated; a dangerous open trench exists on the property; the special hearing date was set, postponed and ultimately withdrawn by St. Mary's; and 2 years later, the case was heard by the zoning commissioner who decided that the building which exists is illegal.

Now, there is yet another (the third to my knowledge) attorney representing the petitioner who requests a postponement of St. Mary's own appeal while they are "in the process of filing for a Special Exception."

St. Mary's has had over 10 years to comply with Baltimore County zoning regulations. On behalf of the community, we request that the Board of Appeals hear these issues and move forward to resolve this case.

Thank you for your consideration.

Sincerely,

Margaret Worrall
Margaret Worrall
Executive Director

Mr. Lawrence E. Schmidt
Zoning Commissioner of Baltimore County
Office of Zoning
Towson, Maryland 21204

RE: Case 92-281-SPHXA

Dear Mr. Schmidt:

The above case is an attempt to make an illegal situation legal. The Petitioner was originally granted a special exception, Zoning Commissioner's Case File 84-130-X, for a church. The Petitioner not only did not build a church but built a hall instead. In 1991 this hall was advertised in the Sun for general use as "Chef's Expressions at Hunt Valley." I was one of the individuals who protested this use to Zoning Enforcement. This illegal use continued. After further complaint Zoning Enforcement obtained a hearing as an attempt to circumvent the law. As one of the protesters I was told I would be notified when this case was to be heard. I was not. One of my friends sent me a notification of the case from the newspaper notice. At the present time the property has not been used for the church. The additional time is especially important for the Petitioner as they believe we will need. Since the structure is built and any proposed "hall" use is illegal, the postponement will not work any hardship on the Petitioner. This postponement is requested on behalf of myself as well as Mr. and Mrs. Harvey Miller, 13733 Cuba Road, Hunt Valley, Maryland, 21030.

Thank you for your attention to this matter.

Sincerely yours,

Barbara A. Cochran
Barbara A. Cochran, M.D.

RECEIVED
FEB 24 1992
ZONING OFFICE

BARBARA A. COCHRAN, M.D.

INTERNAL MEDICINE
6506 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21215
764-1955

Home Address: 13733 Cuba Road
Hunt Valley, Maryland 21030

Mr. Arnold Jablon
Director of Zoning
Office of Planning and Zoning
Baltimore County
Towson, Maryland

Date: 92-5708
TRANSMITTED February 23, 1994

Case 92-281SPHXA

Dear Mr. Jablon:

This case was originally scheduled for March, 1992. At the time of the original posting I sent you a letter requesting a postponement which was granted. To date I have not received any information about the new hearing date. On February 21, 1994 I observed the sign for the new hearing date. Please be advised that the sign has not been up on the property. I pass by this property a minimum of four times a day, and given the proximity of St. Mary's for illegal activity, monitor it very carefully. For the past month there has been extensive construction activity on the property from both B and E as well as "low mole". This activity has caused daily closure on the lane of Shawan as well as trenching and large scale excavation on the frontage of the property. I surmise that the sign for the zoning hearing was moved to accomplish these activities. Additionally, the recent snow storm created large piles of ice snow that may have buried the sign as well. In summary the property has not been posted as required by law nor was I notified of the new hearing as I should have been as a recorded protestant. I therefore request a postponement of not less than ninety days so I and the other protestants have a chance to review and prepare our case. This postponement may include hiring of counsel, expert witnesses, filings with various County agencies, etc. Obviously this takes time, certainly more than seven days.

Thank you for your attention to this matter.

Sincerely yours,

Barbara A. Cochran, M.D.

RECEIVED
FEB 5 1994
ZONING COMMISSIONER

RECEIVED
FEB 24 1994
ZADM

BARBARA A. COCHRAN, M.D.

INTERNAL MEDICINE
6506 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21215
764-1955

Home Address: 13733 Cuba Road
Hunt Valley, Maryland 21030

BARBARA A. COCHRAN, M.D.

INTERNAL MEDICINE
6506 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21215
764-1955

Home Address: 13733 Cuba Road
Hunt Valley, Maryland 21030

Mr. Arnold Jablon
Office of Planning and Zoning
Baltimore County
Towson, Maryland 21204

RE: Case 92-281SPHXA

Max transmittal February 25, 1994
987-5708

Dear Mr. Jablon:

This is an addendum and followup to my previous MAX transmission of February 23, 1994. In reviewing my letter I find that there is an error in the transcription. Specifically on lines 7 and 8, "given the proximity of St. Mary's for illegal activity..." the correct text should read "...given the proximity of St. Mary's for illegal ZONING activity...". Obviously I have no knowledge of any activity on the property except for the injunction against St. Mary's as well as the Cease and Desist Order from Zoning Enforcement this summer.

I must also reiterate my request for a postponement in the above matter. The present building does not conform to the original special exception in that it is 20% larger, does not have an on-site septic system, landscape plan has not been implemented, etc. Additionally St. Mary's has not complied with the Order of Zoning Enforcement to fill in the trench for a foundation for a new building in front of the existing structure. All these issues must be reviewed and addressed. Thank you for your attention to this matter.

Sincerely yours,

Barbara A. Cochran, M.D.

RECEIVED
FEB 28 1994
ZADM



Falls Road Community Association
P.O. Box 555 Brooklandville, Maryland 21022

October 12, 1994

County Board of Appeals of Baltimore County
Attn: Ms. Kathleen C. Weidenhammer
Old Courthouse, Room 49
400 Washington Ave.
Towson, MD 21204

Re: St. Mary's Orthodox-Catholic Church
Case No.: 92-281-SPHXA
Hearing Date 11/22/94 @ 10:00 a.m.
RGM File No.: 94.3022

Dear Ms. Weidenhammer,

On behalf of the The Falls Road Community Association, Inc. I wish to object to the requested postponement of this case from the scheduled hearing date.

Sincerely,

Robert W. Cannon
Robert W. Cannon, Executive Director

WEINBERG AND GREEN

100 SOUTH CHARLES STREET
BALTIMORE, MARYLAND 21201-2773

(410) 332-8800
WASHINGTON AREA: 410-7400
FACSIMILES: (410) 332-8882
TELETYPE: (410) 332-8882
FILE NUMBER: 39439.1

February 26, 1992

VIA HAND DELIVERY

Honorable Lawrence E. Schmidt
Baltimore County Zoning Commissioner
Office of Planning & Zoning
111 West Chesapeake Avenue
Towson, Maryland 21204

Re: Item No. 293, Case No. 92-281-SPHXA
St. Mary's Orthodox-Catholic Church
909 Shawan Road

Dear Commissioner Schmidt:

The hearing on the petitions which have been filed for a special exception, special hearing and variances is scheduled for Monday, March 9 at 9:00 a.m. Since the filing, the Church has decided that it is ready to move forward with the construction of the courtyard, which was always been planned for the future. In order to be certain that this topic is covered in detail at the hearing, I respectfully request a postponement of the hearing date in order to permit us to amend the petitions, plans and the advertising, if necessary.

Sincerely yours,

Robert W. Cannon
Robert W. Cannon

0400p/0001/1 km

cc: Father George Romley
Ms. Margaret Worrall

RECEIVED
FEB 26 1992
ZONING COMMISSIONER

ATTACHMENT TO PETITION FOR ZONING VARIANCE
SAINT MARY'S ORTHODOX-CATHOLIC CHURCH

SECTION I

413.1.B of the Baltimore County Zoning Regulations to permit two external illuminated signs of 36 square feet in lieu of the permitted one 30 square foot sign resulting in variances of one sign and 6 square feet.

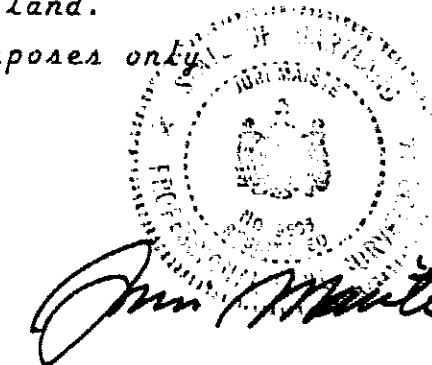
SECTION II

Petitioner's existing signs/bulletin boards provide informational identification to Saint Mary's Orthodox Church and the day care services which are operated within the church property as a matter of right in the R.C. 4 zone. The existing signs/bulletin boards are important to provide directional information to those looking for the facility and result in a reduction of traffic along Shawan Road by providing specific information. Granting the variance is in harmony with the spirit and intent of the zoning regulations, and would not result in substantial harm to public health, safety, and general welfare. Denial of Petitioner's request would cause practical difficulty and unreasonable hardship.

MAISTE & WATTS, INC.
SURVEYORS and ENGINEERS
January 6, 1992

DESCRIPTION OF NO. 909 SHAWAN ROAD,
8-TH ELECTION DISTRICT, BALTIMORE
COUNTY, MARYLAND, TO ACCOMPANY PETITION
FOR SPECIAL HEARING AND FOR SPECIAL
EXEMPTION AND FOR PARKING AND SIGN VARIANCE

Beginning in the centerline of Shawan Road, at a point distant 2,400 feet, more or less southeasterly from the intersection of Shawan Road and the centerline of Beaver Dam Road, running thence and binding on or near the centerline of Shawan Road, the two following courses and distances viz:
1) South 61 degrees 30 minutes 23 seconds East 259.20 feet, and
2) South 63 degrees 00 minutes 00 seconds East 56.67 feet, thence leaving Shawan Road and running the twelve following courses and distances, viz:
3) South 32 degrees 41 minutes 51 seconds West 530.00 feet,
4) North 57 degrees 18 minutes 09 seconds West 266.81 feet
5) South 61 degrees 59 minutes 51 seconds East 56 feet
6) South 25 degrees 40 minutes 00 seconds West 130 feet
7) North 64 degrees 20 minutes 00 seconds East 130 feet
8) North 25 degrees 40 minutes 00 seconds East 95 feet
9) North 61 degrees 59 minutes 51 seconds East 45 feet
10) South 64 degrees 20 minutes 00 seconds East 100 feet
11) North 61 degrees 59 minutes 51 seconds East 40 feet
12) North 28 degrees 00 minutes 09 seconds West 81.05 feet
13) North 61 degrees 59 minutes 51 seconds East 145.33 feet and
14) North 25 degrees 54 minutes 14 seconds East 336.44 feet to the place of beginning.
Containing 3.9512 acres on 172,112 square feet of land.
This description has been written for zoning purposes only and is not intended to be used for conveyance.



CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: FD Date of Posting: 2/14/92
Posted for: Special Hearing - Variance
Petitioner: St. Mary's Orthodox-Catholic Church
Location of property: 909 Shawan Rd., 8th, E. Election Dist.
Location of Sign: Property, 200 sq. ft. property being used
Remarks: None
Posted by: [Signature] Date of return: 2/15/92
Number of Signs: 1

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: FD Date of Posting: 2-21-92
Posted for: Special Hearing - Special Exception - Variance
Petitioner: St. Mary's Orthodox-Catholic Church
Location of property: 909 Shawan Rd., 8th, E. Election Dist.
Location of Sign: Property, 200 sq. ft. property being used
Remarks: None
Posted by: [Signature] Date of return: 2-22-92
Number of Signs: 1

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: FD Date of Posting: 2/16/92
Posted for: Appeal
Petitioner: St. Mary's Orthodox-Catholic Church
Location of property: 909 Shawan Rd., 8th, E. Election Dist.
Location of Sign: Property, 200 sq. ft. property being used
Remarks: None
Posted by: [Signature] Date of return: 2/16/92
Number of Signs: 1

111 West Chesapeake Avenue
Towson, MD 21204

(410) 887-3353

DATE: 2-28-92

Saint Mary's Orthodox Catholic Church
909 Shawan Road
Cockeysville, Maryland 21030

RE:
CASE NUMBER: 92-281-SPVHA
8.5 Shawan Road, 2400' E of Beaver Dam Road
8th Election District - 3rd Councilmanic
Petitioner(s): Saint Mary's Orthodox-Catholic Church

Dear Petitioner(s):

Please be advised that \$ 270.31 is due for advertising and posting of the above captioned property.

THIS FEE MUST BE PAID. ALSO, THE ZONING SIGN AND POST SET(S) MUST BE RETURNED ON THE DAY OF THE HEARING OR THE ORDER SHALL NOT BE ISSUED. DO NOT REMOVE THE SIGN AND POST SET(S) FROM THE PROPERTY UNTIL THE DAY OF THE HEARING.

Please forward your check with return mail to the Zoning Office, County Office Building, 111 W. Chesapeake Avenue, Room 111, Towson, Maryland 21204. It should have your case number noted thereon and be made payable to Baltimore County, Maryland. In order to prevent delay of the issuance of proper credit and/or your order, immediate attention to this matter is suggested.

ARNOLD JARLON
DIRECTOR

cc: Robert M. Carson, Esq.

CERTIFICATE OF PUBLICATION

TOWSON, MD., 2/14, 1992
THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 2/13, 1992.

THE JEFFERSONIAN,

S. Zeke Orlov
Publisher

\$ 195.31

CERTIFICATE OF PUBLICATION

TOWSON, MD., 2/14, 1992
THIS IS TO CERTIFY, that the annexed advertisement was published in TOWSON TIMES, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 2/13, 1992.

TOWSON TIMES,

S. Zeke Orlov
Publisher

\$ 195.31

NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing on the property identified herein in Room 111, Baltimore County Courthouse, 400 Washington Avenue, Towson, Maryland 21204 as follows:

CASE NUMBER: 92-281-SPVHA
8.5 Shawan Road, 2400' E of Beaver Dam Road
8th Election District - 3rd Councilmanic
Petitioner(s): Saint Mary's Orthodox-Catholic Church
HEARING: WEDNESDAY, MARCH 9, 1992 at 9:00 a.m.

Special Hearing to approve an amendment to the special exemption granted in Case No. 84-130-1 for Richard H. Sutton which granted a special exemption to allow for a church in a R.C.-4 zone to allow the use of a part of the building from time to time as a community building. Petitioner further requests that approval be granted for the potential future building addition within the area shown on the plat as being fully in keeping with the purposes and intent of the special exemption as originally granted.

Special Exemption for a church.

Variance to permit two signs/bulletin boards on church property of 35.6 square feet (which are comprised of the signs/bulletin boards (a) one sign/bulletin board for the church with two panels comprised of one panel with 7.5 square feet per face for a total of 15 square feet and one panel with 4.3 square feet per face for a total of 8.6 square feet; and (b) one sign/bulletin board for the day care services with 6 square feet per face for a total of 12 square feet), in lieu of the permitted 30 square feet resulting in the required 192 parking spaces resulting in a variance of 113 parking spaces during those times when the property is being used simultaneously for church purposes and community building purposes.

Zoning Commissioner of
Baltimore County

Baltimore County Government
Office of Zoning Administration
and Development Management



111 West Chesapeake Avenue
Towson, MD 21204

(410) 887-3353

ZONING HEARING ADVERTISING AND POSTING REQUIREMENTS & PROCEDURES

Baltimore County Zoning Regulations require that notice be given to the general public/neighborhood property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property and placement of a notice in at least one newspaper of general circulation in the County.

This office will ensure that the legal requirements for posting and advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements.

PAYMENT WILL BE MADE AS FOLLOWS:

- 1) Posting fees will be assessed and paid to this office at the time of filing.
- 2) Billing for legal advertising, due upon receipt, will come from and should be remitted directly to the newspaper.

NON-PAYMENT OF ADVERTISING FEES WILL STAY ISSUANCE OF ZONING ORDER.

[Signature]
ARNOLD JARLON, DIRECTOR

For newspaper advertising:

Item No.: 92-281-SPVHA (REVISED)
Petitioner: ST. MARY'S ORTHODOX-CATHOLIC CHURCH
Location: 909 SHAWAN ROAD, HUNT HARBOR
PLEASE FORWARD ADVERTISING BILL TO:
NAME: ST. MARY'S ORTHODOX-CATHOLIC CHURCH
ADDRESS: 909 SHAWAN ROAD, RD. 602 581
HUNT HARBOR, MD. 21230
PHONE NUMBER: (410) 785-0909

Aliggs

(Revised 04/09/93)

BALTIMORE COUNTY, MARYLAND
OFFICE OF REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
DATE: 1/23/94 ACCOUNT: PROJ 6150
AMOUNT: \$170.00
RECEIVED FROM: JOHN S. SARKIS (ST. MARY'S)
FOR: ADVERTISING TO ENHANCE CASE 92-281-SPVHA CASE NO. 110
(82) SIGN POSING GUIDE 080 360642 \$ 70.00
PROJ 6150
VALIDATION OR SIGNATURE OF CASHIER

BALTIMORE COUNTY, MARYLAND
OFFICE OF REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
DATE: 1/24/94 ACCOUNT: PROJ 6150
AMOUNT: \$635.00
RECEIVED FROM: JOSEPH P. PATRICK
FOR: ST. MARY'S ORTHODOX-CATHOLIC CHURCH
111 W. CHESAPEAKE AVENUE
TOWSON, MD. 21204
VALIDATION OR SIGNATURE OF CASHIER

ATTACHMENT TO PETITION FOR ZONING VARIANCE
SAINT MARY'S ORTHODOX-CATHOLIC CHURCH

SECTION I

413.1.B of the Baltimore County Zoning Regulations to permit two external illuminated signs of 36 square feet in lieu of the permitted one 30 square foot sign resulting in variances of one sign and 6 square feet.

SECTION II

Petitioner's existing signs/bulletin boards provide informational identification to Saint Mary's Orthodox Church and the day care services which are operated within the church property as a matter of right in the R.C. 4 zone. The existing signs/bulletin boards are important to provide directional information to those looking for the facility and result in a reduction of traffic along Shawan Road by providing specific information. Granting the variance is in harmony with the spirit and intent of the zoning regulations, and would not result in substantial harm to public health, safety, and general welfare. Denial of Petitioner's request would cause practical difficulty and unreasonable hardship.

MAISTE & WATTS, INC.
SURVEYORS AND ENGINEERS
January 6, 1992

DESCRIPTION OF NO. 909 SHAWAN ROAD,
8-TH ELECTION DISTRICT, BALTIMORE
COUNTY, MARYLAND, TO ACCOMPANY PETITION
FOR SPECIAL HEARING AND FOR SPECIAL
EXEMPTION AND FOR PARKING AND SIGN VARIANCE

Beginning in the centerline of Shawan Road, at a point distant 2,400 feet, more or less southeasterly from the intersection of Shawan Road and the centerline of Beaver Dam Road, running thence and binding on or near the centerline of Shawan Road, the two following courses and distances viz:
1) South 61 degrees 30 minutes 23 seconds East 259.20 feet, and
2) South 63 degrees 00 minutes 00 seconds East 56.67 feet, thence leaving Shawan Road and running the twelve following courses and distances, viz:
3) South 32 degrees 41 minutes 51 seconds West 530.00 feet,
4) North 57 degrees 18 minutes 09 seconds West 266.81 feet
5) South 61 degrees 59 minutes 51 seconds West 56 feet
6) South 25 degrees 40 minutes 00 seconds West 130 feet
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10) South 64 degrees 20 minutes 00 seconds East 100 feet
11) North 61 degrees 59 minutes 51 seconds East 40 feet
12) North 25 degrees 40 minutes 09 seconds West 81.05 feet
13) North 61 degrees 59 minutes 51 seconds East 145.33 feet and
14) North 25 degrees 54 minutes 14 seconds East 336.44 feet to the place of beginning.
Containing 3.9512 acres or 172,112 square feet of land.
This description has been written for zoning purposes only and is not intended to be used for conveyance.

John Maiste

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: FD Date of Posting: 2/1/92
Posted for: Special Hearing - Saint Mary's Orthodox Church
Petitioner: Saint Mary's Orthodox-Catholic Church
Location of property: 909 Shawan Rd., Rt. 4, E. of Beaver Dam Rd.
Location of Sign: East side of Shawan Road in front of church
Remarks: Special Hearing
Posted by: John Maiste Date of return: 2/1/92
Number of Signs: 1

BALTIMORE COUNTY, MARYLAND
OFFICE OF REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
DATE: 1/23/92 ACCOUNT: 301450
AMOUNT: \$170.00
RECEIVED FROM: JOHN S. SAWYER (for Mary's)
REMARKS: REVENUE FROM NO. 909 SHAWAN RD. NO. 10
FOR: 60 SIGN BILLS AND 900 BILLS \$170.00
TOTAL: \$170.00
VALIDATION OR SIGNATURE OF CASHIER: [Signature]

BALTIMORE COUNTY, MARYLAND
OFFICE OF REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT
DATE: 1/23/92 ACCOUNT: 301450
AMOUNT: \$170.00
RECEIVED FROM: JOSEPH J. LATRY
FOR: Saint Mary's Orthodox-Catholic Church
VALIDATION OR SIGNATURE OF CASHIER: [Signature]

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: FD Date of Posting: 2/1/92
Posted for: Special Hearing - Saint Mary's Orthodox Church
Petitioner: Saint Mary's Orthodox-Catholic Church
Location of property: 909 Shawan Rd., Rt. 4, E. of Beaver Dam Rd.
Location of Sign: East side of Shawan Road in front of church
Remarks: Special Hearing
Posted by: John Maiste Date of return: 2/1/92
Number of Signs: 1

CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: FD Date of Posting: 2-21-92
Posted for: Special Hearing - Saint Mary's Orthodox Church
Petitioner: Saint Mary's Orthodox-Catholic Church
Location of property: 909 Shawan Rd., Rt. 4, E. of Beaver Dam Rd.
Location of Sign: East side of Shawan Road in front of church
Remarks: Special Hearing
Posted by: John Maiste Date of return: 2-28-92
Number of Signs: 1

111 West Chesapeake Avenue
Towson, MD 21204

DATE: 2-28-92

Saint Mary's Orthodox Catholic Church
800 Shawan Road
Towson, Maryland 21204

RE: CASE NUMBER: 92-281-SPHKA
S/S Shawan Road, 800' E. of Beaver Dam Road
800 Shawan Road
Rt. 4 Election District - 8th Councilmatic
Petitioner: Saint Mary's Orthodox-Catholic Church

It is advised that \$270.31 is due for advertising and posting of the above captioned property.

THE FEE MUST BE PAID. ALSO, THE ZONING SIGN & POST SET(S) MUST BE RETURNED ON THE DAY OF THE HEARING ON THE SIGN & POST SET(S). DO NOT REMOVE THE SIGN & POST SET(S) FROM THE PROPERTY UNTIL THE DAY OF THE HEARING.

Please forward your check via return mail to the Zoning Office, County Office Building, 111 W. Chesapeake Avenue, Room 111, Towson, Maryland 21204. It should have your case number noted thereon and be made payable to Baltimore County, Maryland. In order to prevent delay of the issuance of proper credit and/or your check, immediate attention to this matter is suggested.

ARNDT LARSEN
DIRECTOR

cc: Robert W. Carson, Esq.

CERTIFICATE OF PUBLICATION

TOWSON, MD., 2/14, 1992
THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 2/13, 1992.

THE JEFFERSONIAN,

S. Zeke Olson
Publisher

\$195.31

CERTIFICATE OF PUBLICATION

TOWSON, MD., 2/14, 1992
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TOWSON TIMES,

S. Zeke Olson
Publisher

\$195.31

Baltimore County Government
Office of Zoning Administration
and Development Management
Office of Planning & Zoning

NOTICE OF HEARING

The Zoning Commission of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing on the property identified herein in Room 111, Baltimore County Courthouse, 400 Washington Avenue, Towson, Maryland 21204 as follows:

CASE NUMBER: 92-281-SPHKA
S/S Shawan Road, 800' E. of Beaver Dam Road
800 Shawan Road
Rt. 4 Election District - 8th Councilmatic
Petitioner: Saint Mary's Orthodox-Catholic Church
HEARING: WEDNESDAY, FEBRUARY 25, 1992 at 9:00 a.m.

Special hearing to approve an amendment to the special exception granted in Case No. 84-130-E for a church in a R.C.-4 zone to allow for a church in a R.C.-4 zone to allow for the use of a portion of the building from time to time as a community building. Petitioner further requests that approval be granted for the potential future building addition within the zone shown on the plat accompanying this petition. Petitioner respectfully requests approval for these present and future uses as being fully in keeping with the purpose and intent of the special exception as originally granted.

Special exception for a church.

Variance to permit two signs/bulletin boards on church property of 35.6 square feet (which are comprised of two signs/bulletin boards (a) one sign/bulletin board for the church with two panels comprised of one panel with 12 square feet per face for a total of 24 square feet and one panel with 4.3 square feet per face for a total of 8.6 square feet and (b) one sign/bulletin board for the day care services with 6 square feet per face for a total of 12 square feet), in lieu of the permitted 30 square feet resulting in a variance of 13.6 square feet; and to permit 79 parking spaces in lieu of the required 112 parking spaces resulting in a variance of 33 parking spaces during those times when the property is being used simultaneously for church purposes and community building purposes.

ZONING COMMISSIONER OF
BALTIMORE COUNTY

Baltimore County Government
Office of Zoning Administration
and Development Management
111 West Chesapeake Avenue
Towson, MD 21204 (410) 887-3353

ZONING HEARING ADVERTISING AND POSTING REQUIREMENTS & PROCEDURES

Baltimore County Zoning Regulations require that notice be given to the general public/neighborhood property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property and placement of a notice in at least one newspaper of general circulation in the County.

This office will ensure that the legal requirements for posting and advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements.

PAYMENT WILL BE MADE AS FOLLOWS:

1. Posting fees will be assessed and paid to this office at the time of filing.
2. Bills for legal advertising, due upon receipt, will come from and should be remitted directly to the newspaper.

NON-PAYMENT OF ADVERTISING FEES WILL STAY ISSUANCE OF ZONING ORDER.

Arnold J. Larson
ARNOLD LARSON, DIRECTOR

For newspaper advertising:

Case No. 92-281-SPHKA (REVISED)
Petitioner: Saint Mary's Orthodox-Catholic Church
Address: 909 Shawan Road, Hunt Valley, MD 21230
PLEASE FORWARD ADVERTISING BILL TO:
NAME: Saint Mary's Orthodox-Catholic Church
ADDRESS: 909 Shawan Road, Rt. 4, E. of Beaver Dam Rd.
HUNT VALLEY, MD 21230
PHONE NUMBER: (410) 782-0909

Adopted (Revised 04/09/93)



111 West Chesapeake Avenue
Towson, MD 21204

(410) 887-3353

Your petition has been received and accepted for filing this
15th day of January, 1992.

Arnold Jablon
ARNOLD JABLON
DIRECTOR

Received By:

W. Carl Reichels Jr.
W. Carl Reichels Jr.
Chairman,
Zoning Plans Advisory Committee

Petitioner: St. Mary's Orthodox Catholic Church
Petitioner's Attorney: Robert W. Cannon



700 East Joppa Road, Suite 901
Towson, MD 21204-5500

(301) 887-4500

JANUARY 30, 1992

Arnold Jablon
Director
Zoning Administration and
Development Management
Baltimore County Office Building
Towson, MD 21204

RE: Property Owner: SAINT MARY'S ORTHODOX-CATHOLIC CHURCH
Location: #909 SHAWAN ROAD
Item No.: 293 Zoning Agenda: JANUARY 28, 1992

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by
this Bureau and the comments below are applicable and required to be
corrected or incorporated into the final plans for the property.

4. The site shall be made to comply with all applicable parts of the
Fire Prevention Code prior to occupancy or beginning of operation.

5. The buildings and structures existing or proposed on the site
shall comply with all applicable requirements of the National Fire
Protection Association Standard No. 101 "Life Safety Code", 1988
edition prior to occupancy.

REVIEWER: *Robert W. Bowling* Noted and
Approved
Planning Group Fire Prevention Bureau
Special Inspection Division

JE/KEF

92-281-SPHX

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director DATE: February 13, 1992
Zoning Administration and Development Management

FROM: Robert W. Bowling, P.E.

RE: Zoning Advisory Committee Meeting
for January 28, 1992

The Developers Engineering Division has reviewed
the subject zoning items and we have no comments for
Items 285, 289, 290, 291, 293, 294, 295 and 296.

For Items 286 and 292 County Review Group Meetings will
be required.

For Item 297, the previous County Review Group Comments
still remain valid.

Robert W. Bowling
ROBERT W. BOWLING, P.E., Chief
Developers Engineering Division

RWB:s



2-7-94

Ms. Charlotte Minton
Zoning Administration and
Development Management
County Office Building
Room 109
111 W. Chesapeake Avenue
Towson, Maryland 21204

Re: Baltimore County
Item No. 92-281-SPHX
CASE NO. # 92-281-SPHX

Dear Ms. Minton:

This office has reviewed the referenced item and we have no objection to
approval as it does not access a State roadway and is not effected by any State Highway
Administration project.

Please contact Bob Small at 410-333-1350 if you have any questions.

Thank you for the opportunity to review this item.

Very truly yours,
Robert W. Bowling
ROBERT W. BOWLING, P.E., ACTING CHIEF
John Contessabile, Chief
Engineering Access Permits
Division

BS/

VA telephone number is _____
Maryland Relay Service for Impaired Hearing or Speech
1-800-735-2256 Statewide Toll Free
Mailing Address: P.O. Box 717 • Baltimore, MD 21203-0717
Street Address: 707 North Calvert Street • Baltimore, Maryland 21202

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director DATE: February 28, 1992
Zoning Administration and
Development Management
FROM: Gary L. Kerns, Chief
Comprehensive and Community Planning
Office of Planning and Zoning
SUBJECT: St. Mary's Orthodox Catholic Church,
Item No. 293

This Office opposes the Petitioner's request for the following
reasons:

- This site is located on Shawan Road which is indicated as a
scenic route in the Baltimore County Master Plan.
- The property is zoned RC 4 and as such the intent of County
Council is to prevent over development at levels that could
be detrimental to the watershed (BC 2R Sec1A03.1).
- This property is located within close proximity to Oregon
Branch and therefore, any development should be in keeping
with the tenets of the RC 4 (Watershed Protection) zone.

The applicant was granted a Special Exception for a small church
on November 24, 1983. The current level of development remains a
reasonable use of the site which has several area and environmental
constraints. The Petitioner should be required to comply with the
1983 order as conditioned.

Although the parking area already exists, this office recommends
that the Petitioner be required to address the issue of the 10%
coverage factor. In the opinion of this office, Section 1A03.4.B.5
of the BCZ does not define porous pavement as permeable but
consideration of this fact should be addressed through a Special
Hearing.

If there should be any further questions or if this office can
provide additional information, please contact Jeffrey Long in the
Office of Planning at 887-3211.

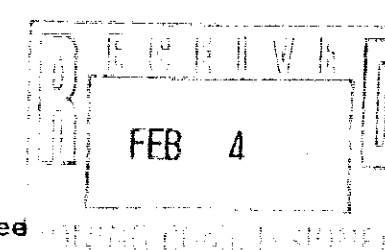
Report prepared by:

Wally Lippincott
Wally Lippincott
Jeffrey Long
Jeffrey Long

GLK/JL:rdn

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director DATE: February 14, 1994
Zoning Administration and
Development Management
FROM: Pat Keller, Deputy Director
Office of Planning and Zoning
SUBJECT: Petitions from Zoning Advisory Committee



The Office of Planning and Zoning has no comments on the following petition(s):
Item Nos. 291, 293 and 298.

If there should be any further questions or if this office can provide additional
information, please contact Jeffrey Long in the Office of Planning at 887-3480.

Prepared by: *Jeffrey W. Long*
Division Chief: *Gary L. Kerns*

PK/JL:lw

ZAC.291/PZONE/ZAC1

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Zoning Administration and
Development Management
FROM: Pat Keller, Deputy Director
Office of Planning and Zoning
DATE: February 18, 1994
SUBJECT: 909 Shawan Road

INFORMATION:

Item Number: Case No. 92-281 *Item 293*
Petitioner: Saint Mary's Orthodox-Catholic Church
Property Size: _____
Zoning: R.C. 4
Requested Action: _____
Hearing Date: 1/1

SUMMARY OF RECOMMENDATIONS:

Based upon the information provided, staff offers the following comments:

A review of Case No. 84-130X indicates that the subject property has been im-
proved beyond what was originally envisioned. At the time of the hearing a typi-
cal church building was proposed. However, a multifaceted assembly hall was
ultimately constructed.

Staff does not oppose the Special Hearing to amend the previously granted Special
Exception provided that the following conditions are attached to any order, if
granted:

- Full compliance with the Baltimore County Landscape Manual within 90 days.
- The R.C. 4 zone states that "no more than 10 percent of any lot in an R.C. 4
zone may be covered by impermeable surfaces (such as structures or pavement)."
The applicant's plan indicates that an impermeable surface covers 12% of the
site. Therefore, this current deficiency must be addressed and future expan-
sion should be restricted altogether.

92-281/PZONE/ZAC1

Pg. 1

Staff would prefer that the two signs subject to the Variance embody the rural
character of the Shawan Valley. However, since the signs are existing, we do not
feel it would be practical to remove them. Nevertheless, this office recommends
a limitation be placed in the order regarding illumination so that the signs are
not lighted from 9:00 p.m. to 6:00 a.m.

Prepared by: *Jeffrey W. Long*
Division Chief: *Gary L. Kerns*
PK/JL:lw

92-281/PZONE/ZAC1

Pg. 2

BUREAU OF TRAFFIC ENGINEERING
DEPARTMENT OF PUBLIC WORKS
BALTIMORE COUNTY, MARYLAND

DATE: February 18, 1992

TO: Mr. Arnold Jablon, Director
Office of Zoning Administration
and Development Management

FROM: Sahee J. Famili
Traffic Engineer II

SUBJECT: Z.A.C. Comments

Z.A.C. MEETING DATE: January 28, 1992

ITEM NUMBER: 293

There is no off-site parking available in the area. Therefore, adequate on-site parking should be provided. This office recommends against the requested parking variance and we request that the simultaneous use of church and community building be denied.

Sahee J. Famili
Sahee J. Famili
Traffic Engineer II

PJP/lvs

BALTIMORE COUNTY
ECONOMIC DEVELOPMENT COMMISSION

Memorandum

TO: Julie Winiarski
Office of Zoning Administration and
Development Management

FROM: A. J. Haley, Deputy Director
Economic Development Commission

DATE: January 29, 1992

RE: Zoning Advisory Comments for Meeting of January 28, 1992

This office has no comment for items 285, 286, 289, 290, 291, 292, 293, 294, 295, 296 and 297.

RECEIVED
JAN 30 1992
ZONING OFFICE

BALTIMORE COUNTY, MARYLAND
Inter-Office Correspondence

TO: John Reisinger
Building Engineer
Department of Permits & Licenses

DATE: Nov. 18, 1991

FROM: David Green
Planner
Zoning Administration & Development Management

SUBJECT: 1418A Spring Avenue
B-110388

On October 28, 1991, this office approved the above referenced building permit in error.

A variance was requested for this property in a public hearing, Case No. 92-32A, on September 28, 1991.

As of this date, no order has been written granting or denying a variance for the above referenced address. Since no order has been written, this office is rescinding its approval of Building Permit B-110388, pending the outcome of the hearing.

DS/jet
cc: Pat Orla, Building Permit Services, Inc., 4275 Ebenezer Road, 21236
Joseph Rusito, 1418 Spring Avenue, 21237
James E. Dyer

ZONING ENFORCEMENT

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Larry E. Schmidt
Zoning Commissioner

DATE: March 11, 1992

FROM: James H. Thompson - DT
Zoning Enforcement Coordinator

SUBJECT: Item No. 293
Petitioner: St. Mary's Orthodox-Catholic Church

VIOLATION CASE: No. C-91-2788

LOCATION OF VIOLATION: 909 Shawan Road
Cockeysville, Maryland 21030
8th Election District

DEFENDANT: St. Mary's Orthodox-Catholic Church

ADDRESS: Resident Agent: Camille K. Grant
3200 St. Lukes Lane
Baltimore, Maryland 21207

Please be advised that the aforementioned petition is the subject of an active violation case. When the petition is scheduled for a public hearing, please notify the following persons:

NAME: Dr. Barbara Cochran
13733 Cuba Road
Hunt Valley, Maryland 21030

Margaret Worrall, Executive Director
The Valleys Planning Council, Inc.
212 Washington Avenue
Towson, Maryland 21285-5402

After the public hearing is held, please send a copy of the Zoning Commissioner's order to the Zoning Enforcement Coordinator, so that the appropriate action may be taken relative to the violation case.

JHT/DT/ser

RECEIVED MAR 12 1992

Baltimore County Government
Office of Zoning Administration
and Development Management
Office of Planning & Zoning

Date:

RE: Building Permit No.
Control No.

Election District

The Zoning Office cannot approve the above referenced building permit application for the following reason(s):

Because of an existing violation on this property, no permits or zoning approvals will be issued until the violation is cleared.
Ref.: Sec. Baltimore County Code.

If you have any further questions, you may contact me at 887-3391
to make an appointment.

Sincerely,

John R. Alexander
Planner

JRH/ser: Zoning Enforcement Officer
Planning File

Baltimore County Government
Office of Zoning Administration
and Development Management
Office of Planning & Zoning111 West Chesapeake Avenue
Towson, MD 21204

887-3353

September 12, 1991

Mr. Mark Kroneberger
Galvery Chapel of Towson
3029 Willoughby Road
Baltimore, Maryland 21234

RE: 7816 Harford Road
B-104757
COC-169-91
9th Election District

Dear Mr. Kroneberger:

This letter is to inform you that the zoning office has withdrawn its approval of the above referenced permit application. This is due to the fact that a complaint was lodged against the conversion. Parking was brought up as a major community concern. As you recall, shared parking calculations did not include churches as a separate use. Therefore, the permit cannot be approved until such a time that parking can be shown to be in compliance with all of Section 409 of the Baltimore County Zoning Regulations. This may be obtainable by Special Hearing or Variance.

If you have any questions, please do not hesitate to call me at 887-3391.

Very truly yours,

JAMES E. DYER
Zoning Supervisor

By: Catherine A. Milton
Planner I

CMJ/jat
cc: Chris & Ron Dermotta
Timothy Pitts
File

Baltimore County Government
Zoning Commissioner
Office of Planning and ZoningSuite 113, Courthouse
400 Washington Avenue
Towson, MD 21204

April 13, 1994

(410) 887-4386

Joseph P. Katrick, Esquire
5814 Ebenezer Road
White Marsh, Maryland 21162-1936

Jeffrey Foreman, Esquire
1 Sheepfold Lane
(Development of Greencroft)
Cockeysville, Maryland 21030

RE: Case No. 92-281-SPHKA
Petitions for Special Hearing, Special Exception and Variance
St. Mary's Orthodox Catholic Church
2409 Shawan Road, 2400 ft. E of Beaver Dam Road
2409 Shawan Road
8th Election District - 3rd Councilmanic District

Gentlemen:

This letter will serve to confirm with all parties concerned that the above captioned case will be continued to Wednesday, May 25, 1994 at 9:00 A.M. in Room 118 of the Old Court House in Towson.

Very truly yours,

Lawrence E. Schmidt
Zoning Commissioner

DE:ser
cc: Rev. George Rowley
Cory Sackloh
Matt A. Kassir, P.E.
Sam D. Simaika, Architect
Margaret Worrall, Valleys Planning Council
A. Douglas McComas, Falls Road Community Assn.
Harvey L. Miller
Dr. Barbara A. Cochran
Sean Stephens, Docket Clerk, Office of Zoning Administration

APPEAL

Petition for Special Hearing, Special Exception
and Variance
2409 Shawan Road, 2400 ft. E of Beaver Dam Road
(409 Shawan Road)
8th Election District - 3rd Councilmanic District
St. Mary's Orthodox-Catholic Church-PETITIONER
Case No. 92-281-SPHKA

Petition for Special Hearing, Special Exception and Variance
Petitioner's Petition for Special Hearing and Variance
Description of Property

Certificate of Posting (02/14/94 and 02/21/94)
Certificate of Publication

Zoning Plans Advisory Committee Comments
Petitioner's and Protestor(s) Sign-In Sheets

Petitioner's Exhibits: 1 - Photocopies of Case 84-130-X
2 - Deed, Liber 681, Folio 589
3 - Flood Plain Study
4 - Revised Plat to Accompany Petition
5 - Letter to Mr. Juri Waite dated 3/23/89
6 - Septic System Design and Water Supply Information
7 - State of Maryland Permit to Drill
8 - Letter to Sam Simaika dated 6/6/89
9 - Letter to Sam Simaika dated 6/15/89
10 - Letter to Sam Simaika dated 6/15/89
11 - Photocopy of Permit B014461
12 - Photocopy of Permit B165899
13 - No exhibit marked No. 14
14 - No exhibit marked No. 15
15 - Sam Simaika Resume
16 - Five Photographs
17 - No exhibit marked No. 18
18 - Internal Correspondence to Sue Hofstetter dated 9/01/94
19 - Letter to Mr. Doug Colonnell dated 9/23/90
20 - No exhibit marked No. 21
21 - Tree Layout
22 - Photocopy of State of Maryland Permit to Drill Well package
23 - Photocopy of Baltimore County Executive Proclamation
24 - Letter to Permits & Licenses dated 4/01/90

Protestor's Exhibits: 1 - Letter to Mr. Ramon Jada dated 8/2/91
2 - Letter to Father George F. Rowley dated 7/31/91

Letter to Mr. Lawrence Schmidt dated May 25, 1994 from the Valleys Planning Council, Inc. and attachments

Unsubstantiated letters
Zoning Commissioner's order dated June 7, 1994 (Denied)

Notice of Appeal received on July 1, 1994 from Joseph P. Katrick, Esquire on behalf of St. Mary's Orthodox-Catholic Church
Joseph P. Katrick, Esquire, 5814 Ebenezer Road, White Marsh, MD 21162
Margaret Worrall, Valleys Planning Council, P. O. Box 5402, Towson, MD 21204
Harvey L. Miller, 13111 Cuba Road, Cockeysville, MD 21030
A. Douglas McComas, Falls Road Community Association, P. O. Box 100, Greenvale, MD 21022
Jeffrey Foreman, 1 Sheepfold Lane, Cockeysville, MD 21030
Father George Rowley, 18 Northampton Road, Timonium, MD 21093
Ramon Jada, 2104 Talton Road, Beltsville, MD 21054
Cory Sackloh, 9421 Johns Pond Road, Baltimore, MD 21224
Matt A. Kassir, 1682 Timberline Court, Baltimore, MD 21286
Sam Simaika, 106 Pinewood Avenue, Silver Spring, MD 20901
People's Council of Baltimore County
Sam M. County Office Bldg., Towson, Md. 21204

Request Notification: Patrick Keller, Director, Planning & Zoning
Lawrence E. Schmidt, Zoning Commissioner
W. Carl Richards, Jr., Zoning Manager
Docket Clerk
Arnold Jablon, Director of ZAM

APPEAL

Petition for Special Hearing, Special Exception and Variance
S/S Shawan Road, 2,400 Ft. E of Beaver Dam Road
(909 Shawan Road)
8th Election District - 3rd Councilmanic District
St. Mary's Orthodox-Catholic Church-PETITIONER
Case No. 92-281-SPHXA

See item on original checklist.

Petitioner's Exhibits: 14 - Rolled site plans of St. Mary's Orthodox Catholic Church (previous checklist marked as No exhibit marked No. 14).

9/06/94 -Notice of Assignment for hearing scheduled for Tuesday, November 22, 1994 at 10:00 a.m. sent to following:

Joseph P. Katrick, Esquire
Father George Roley
Mr. Ramon Jindra
Mr. Jerry Sackie
Mr. Matti A. Kassir
Mr. Sam Simaika
Ms. Margaret Worrall
Valleys Planning Council
Mr. A. Douglas McComas
Falls Rd Community Assn.
Mr. Harvey L. Miller
Mr. Jeffrey Foreman
Mr. Dennis Sutton
People's Counsel for Balto. County
Pat Keller
Lawrence E. Schmidt
Timothy H. Kotroco
W. Carl Richards, Jr. /ZADM
Docket Clerk /ZADM
Arnold Jablon, Director /ZADM

10/11/94 -Letter dtd 10/07/94 from John Gontrum, Esquire, Counsel for Petitioner, requesting postponement; in the process of filing for special exception.
ENTRY OF APPEARANCE - John B. Gontrum, Esquire, on behalf of Saint Mary's Orthodox-Catholic Church, Petitioner.

10/14/94 -Letters of protest opposing postponement from Valleys Planning Council and Jeffrey Foreman, Protestants.

10/17/94 -Letter opposing postponement from Falls Road Community Association.

10/18/94 -Notice of POSTPONEMENT sent to parties; matter to be postponed pending filing of Petition for Special Exception; to calendar for status confirmation; no reset date at this time.

12/19/94 -Per t/c with J. Gontrum, received written request for dismissal of subject appeal; matter has been resolved via Order of ZC; this appeal is now moot.
Will prepare and issue Order of Dismissal and ultimately close file.

Baltimore County Government
Office of Zoning Administration
and Development Management



111 West Chesapeake Avenue
Towson, MD 21204

(410) 887-3353

July 6, 1994

Ms. Margaret Worrall
Valleys Planning Council
P.O. Box 5402
Towson, MD 21285

Mr. Harvey L. Miller
13737 Cuba Road
Cockeysville, MD 21030

Mr. A. Douglas McComas
Falls Road Community Association
P.O. Box 555
Brooklandville, MD 21022

Mr. Jeffrey Foreman
1 Sheepfold Lane
Cockeysville, MD 21030

RE: Petition for Special Hearing, Special Exception and Variance
S/S Shawan Road, 2,400 ft. E of Beaver Dam Road
(909 Shawan Road)
8th Election District
3rd Councilmanic District
St. Mary's Orthodox-Catholic Church-Petitioner
Case No. 92-281-SPHXA

Dear Ms. Worrall, Mr. McComas, Mr. Miller and Mr. Foreman:

Please be advised that an appeal of the above-referenced case was filed in this office on July 1, 1994 by Joseph P. Katrick, Esquire on behalf of St. Mary's Orthodox-Catholic Church. All materials relative to the case have been forwarded to the Board of Appeals.

If you have any questions concerning this matter, please do not hesitate to contact Julie Winiarski at 887-3391.

Sincerely,

Arnold Jablon
ARNOLD JABLON
Director

Attn: Father George Rumley
Mr. Jerry Sackie
Mr. Ramon Jindra
Mr. Matti Kassir
Mr. Sam Simaika
People's Counsel

Printed with Soy-based Ink
on Recycled Paper

Baltimore County Government
Office of Zoning Administration
and Development Management



111 West Chesapeake Avenue
Towson, MD 21204

(410) 887-3353

July 5, 1994

Ms. Margaret Worrall
Valleys Planning Council
P.O. Box 5402
Towson, MD 21285

Mr. Harvey L. Miller
13737 Cuba Road
Cockeysville, MD 21030

Mr. A. Douglas McComas
Falls Road Community Association
P.O. Box 555
Brooklandville, MD 21022

Mr. Jeffrey Foreman
1 Sheepfold Lane
Cockeysville, MD 21030

RE: Petition for Special Hearing, Special Exception and Variance
S/S Shawan Road, 2,400 ft. E of Beaver Dam Road
(909 Shawan Road)
8th Election District
3rd Councilmanic District
St. Mary's Orthodox-Catholic Church-Petitioner
Case No. 92-281-SPHXA

Dear Ms. Worrall, Mr. McComas, Mr. Miller and Mr. Foreman:

Please be advised that an appeal of the above-referenced case was filed in this office on July 1, 1994 by Joseph P. Katrick, Esquire on behalf of St. Mary's Orthodox-Catholic Church. All materials relative to the case have been forwarded to the Board of Appeals.

If you have any questions concerning this matter, please do not hesitate to contact Julie Winiarski at 887-3391.

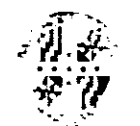
Sincerely,

Arnold Jablon
ARNOLD JABLON
Director

Attn: Father George Rumley
Mr. Jerry Sackie
Mr. Ramon Jindra
Mr. Matti Kassir
Mr. Sam Simaika
People's Counsel

Need
copy of
this case
for
comments?

Baltimore County Government
Office of Zoning Administration
and Development Management



July 22, 1994

(410) 887-4386

Helen Delich Bentley
2201 E. Joppa Road
Towson, MD 21204

92-281-SPHXA
St. Mary's Orthodox-Catholic Church
S/S Shawan Road, 2,400 Ft. E. of Beaver Dam Rd.

Dear Ms. Bentley:

My letter dated July 15, 1994 regarding the above case is enclosed.

I forwarded a copy of my written opinion, dated June 7, 1994, to you. In this case, I am certain that you are familiar with the matter. I would particularly point out that the principles provided with three options within my opinion. Petitioner this office for special exception relief in previous deficiencies on their site plan and legitimate. As I noted in my opinion, I felt that this case would give the surrounding community an opportunity to retain what had been decided by the church. As a church has a right to appeal my decision, which they did on their appeal to the Board of Appeals. Third and, a desirable alternative would be to raze the building.

Since the Church has decided to file an appeal, their appeal to the Board of Appeals and a new hearing will be held. They will be given full opportunity at that time to appeal this matter.

Your interest in this case.

Very truly yours,

Lawrence E. Schmidt
Lawrence E. Schmidt
Zoning Commissioner

Office of Baltimore County
Zoning Administration
111 West Chesapeake Avenue
Towson, MD 21204

Baltimore County Government
Office of Zoning Administration
and Development Management



March 8, 1994

(410) 887-3353

Robert W. Cannon, Esquire
100 South Charles Street
Baltimore, Maryland 21201

RE: Case No. 92-281-SPHXA, Item No. 293
Petitioner: St. Mary's Orthodox, et al.

Dear Mr. Cannon:

Enclosed are copies of comments received from the Office of Planning and Zoning on March 1, 1994 for the above-referenced case.

If there are any questions, please do not hesitate to call me at 887-3391.

Sincerely,

Charlotte Minton
Charlotte Minton

Enclosure

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Permits & Development Management

DATE: November 18, 1997

FROM: Charlotte E. Radcliffe
County Board of Appeals

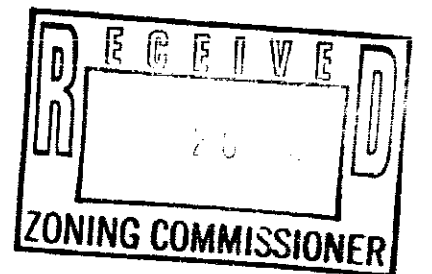
SUBJECT: Closed File: Case No. 92-281-SPHXA
ST. MARY'S ORTHODOX -
CATHOLIC CHURCH
8th E; 3rd C

As no further appeals have been taken in the above captioned case, which was dismissed by Order dated January 21, 1997, we are hereby closing the file and returning same to you herewith.

Attachment (Case File No. 92-281-SPHXA w/ rolled site plans)

HELEN DELICH BENTLEY
2201 E. Joppa Road
Towson, MD 21204
410-887-4386

Congress of the United States
House of Representatives
Washington, DC 20515-2002
July 15, 1994



Dear Mr. Schmidt:

Enclosed you will find a copy of correspondence I received from my constituent, Jerry Sackie, Chairman, St. Mary's Orthodox Church, 909 Shawan Road, P.O. Box 594, Hunt Valley, Maryland 21030.

As you are familiar with this case, I won't go into all the details. I understand the Petitioner (St. Mary's Orthodox Church) has been instructed to terminate the use of the property or petition the zoning office for special exception relief to permit the existing church use in an R.C. zone.

It has been explained to me that the church has been there for some time. Evidently, mistakes were made from the inception, including many made by the County. Given this, it seems a shame and a waste to order this church be razed.

I understand the Petitioner will file an appeal with the Baltimore County Board of Appeals.

Your fullest consideration of this case will be appreciated greatly.

Sincerely,

Helen Delich Bentley
Helen Delich Bentley
Member of Congress

HDB:dkk

Enclosure

BUY U.S.A. SAVE AMERICAN JOBS!
RECYCLED PAPER

Greencroft
Community Association, Inc.

13909 Greencroft Lane
Cockeysville, Maryland 21030

April 11, 1994

Zoning Commissioner
Baltimore County
Room 118
Old Court House
Towson, Maryland 21204

RE: Case No. 92-181-SPHXA

Gentlemen,

The Greencroft Community Association objects to any further variance(s) on size and illumination of signage for St. Mary's Orthodox-Catholic Church. Increasing the size and illumination of signage would only further put this structure and signage out of harmony with the rural surroundings of the area.

Further, the Greencroft Community Association believes that the church should be required to:

- implement its landscaping plan
- be restricted from further variances for additional building on this site
- be required to abide by the restrictions in prior zoning orders.

We thank you for your attention to our concerns.

Very truly yours,

James A. Flick, Jr.
James A. Flick, Jr.
Chairman

SAINT MARY'S ORTHODOX CHURCH
909 SHAWAN ROAD, P.O. BOX 594
HUNT VALLEY, MARYLAND 21030
(410) 785-0909 • FAX (410) 785-1205

THE VERY REVEREND GEORGE F. ROMLEY
PASTOR

Ms. Doris Kuhar
Office of The Honorable Helen Delich Bentley
Suite 400
200 East Joppa Road
Towson, MD 21286

June 15, 1994

Re: Case No. 92-281-SPHXA
Petitions for Special Hearing, Special Exception, and Variance for
St. Mary's Orthodox Church

Dear Ms. Kuhar:

Enclosed, you will find the decision rendered in the above captioned case. The Petitions for Special Hearing, Special Exception, and Variance have been denied, in accordance with the attached Order. I understand this case may be of interest to you.

St. Mary's is a small congregation and can not be substantially subjected to this undue hardship and burden. It would be detrimental to our survival. We ask for assistance and advice in this matter.

St. Mary's will file an appeal to this decision to the County Board of Appeals.

Enclosed also, you will find a copy of Baltimore County Resolution No. 11-93. If you have any questions, please contact me at 467-6200.

Sincerely yours,

Jerry Sackleh
Jerry Sackleh
Chairman St. Mary's Church

ANTIOCHIAN ORTHODOX CHRISTIAN ARCHDIOCESE

SAINT MARY'S ORTHODOX CHURCH
909 SHAWAN ROAD, P.O. BOX 594
HUNT VALLEY, MARYLAND 21030
(410) 785-0909 • FAX (410) 785-1205

THE VERY REVEREND GEORGE F. ROMLEY
PASTOR

January 24, 1994

Baltimore County Government
Office of Zoning Administration
111 West Chesapeake Avenue
Towson, MD 21204

Subject: Petitions for Variance and Special Hearing for Saint Mary's Orthodox Church

To Whom It May Concern:

Please honor this authorization letter for Joseph Katrick as Authorized Representative of Saint Mary's Orthodox Church to proceed on its' interests as set forth by its' council. Involved here are the Petition for Variance and the Petition for Special Hearing to the Zoning Commissioner of Baltimore County. Attachments will follow these Petitions.

Sincerely,

Jerry Sackleh
Jerry Sackleh
Chairman St. Mary's Orthodox Church

Ed Borusan
Recording Secretary

RECEIVED
FEB 1 1994
ZADM

ANTIOCHIAN ORTHODOX CHRISTIAN ARCHDIOCESE

ROMADKA, GONTRUM & McLAUGHLIN, P.A.

814 Eastern Boulevard
Baltimore, Maryland 21221

TEL: 666-8774
FAX: 666-0118

ROBERT J. ROMADKA
JOHN B. GONTRUM
J. MICHAEL McLAUGHLIN, JR.

ELIZABETH A. VANN

October 7, 1994

*ALSO ADMITTED IN D.C.

County Board of Appeals of Baltimore County
Old Courthouse, Room 49
400 Washington Ave.
Towson, MD 21204

Attn: Ms. Kathleen C. Weidenhammer
Administrative Assistant

Re: St. Mary's Orthodox-Catholic Church
Case No.: 92-281-SPHXA
Hearing date: 11/22/94 @ 10:00 a.m.
RGM File No.: 94-3022

Dear Ms. Weidenhammer:

Please postpone the above referenced hearing date at this time as we in the process of filing for a Special Exception.

Please contact my office if you have any questions. Thank you for your anticipated cooperation in this matter.

Very truly yours,

John B. Gontrum
John B. Gontrum

JBG/bjb

cc: St. Mary's Orthodox-Catholic Church (Attn: Jerry Sackleh)
People's Counsel for Baltimore County
Arnold Jablon, Director ZADM

94 OCT 11 PM 12:53

October 14, 1994

County Board of Appeals of Baltimore County
Old Courthouse, Room 49
400 Washington Avenue
Towson, MD 21204

Attn: Ms. Kathleen C. Weidenhammer
Administrative Assistant

Re: St. Mary's Orthodox Church
Case No. 92-281-SPHXA
Hearing Date: 11/22/94 @ 10:00 a.m.

Dear Ms. Weidenhammer:

It has come to my attention that the above referenced party has, through new counsel, requested a postponement of the case. As one of the protestants in this case, I object to this request.

The property in question has been in violation of Baltimore County Zoning orders for a substantial period of time, and petitioner has made no effort to bring the property into compliance over a period exceeding a year. Further, the property currently may pose an attractive nuisance and potential hazard because of the incomplete construction work. In granting such a postponement, the County would be sending the absolutely wrong message to other violators that they can so easily continue to avoid their zoning responsibilities.

Given that the existing hearing date is already into the holiday season, a postponement means that this issue will not be addressed until next year. This is unfair to the community. Your consideration of these issues is greatly appreciated.

Respectfully,

Jeffrey Foreman
Jeffrey Foreman

cc: John B. Gontrum, Romadka, Gontrum & McLaughlin

RECEIVED
MAR 1 1994
ZONING COMMISSIONER

HARVEY L. MILLER
200 VILLAGE SQUARE
CROSS KEYS
BALTIMORE, MARYLAND 21210

February 25, 1994

By FAX 587-5708

Mr. Timothy Kotroco
Deputy Zoning Commissioner
Baltimore County, Maryland

Re: #92-281-SPHXA
Syrian Orthodox Church
Shawan Road

Dear Mr. Kotroco:

I am respectfully requesting you to postpone for at least ninety days the hearing now scheduled for March 3 in the above captioned case.

My home address is 13737 Cuba Road, Cockeysville, a neighbor of the property. I pass it twice each day as does my wife, and neither of us saw the hearing sign until yesterday. As you know, there has been considerable road construction in the area in front of the subject property, and perhaps the sign was obscured by the heavy equipment, or perhaps it may have been knocked over, or removed temporarily to prevent its being damaged; I don't know which, but I do know that it was not visible to passing motorists until yesterday.

I think it is very important in this matter to hear from the people in the community upon whom this property has already had a considerable impact, and upon whom it would have a much greater impact if expanded. It is absolutely necessary to postpone the hearing so that we can have a chance to present the community's position in this case. It is also necessary to have time to engage an attorney and give him time to prepare, if need be.

Considering the long term consequences of this matter, can a few more months hurt the church's plans? I don't think so.

Please give the community a chance to properly participate.

Very truly yours,

Harvey L. Miller
Harvey L. Miller
13737 Cuba Road
Cockeysville, MD 21030

JOSEPH P. KATRICK, ESQ.
Attorney at Law
5814 Ebenezer Road
White Marsh, Maryland 21162-1936
(410) 335-7507
FAX (410) 335-9438

January 28, 1994

Mr. Arnold Jablon
ZADM
111 West Chesapeake Ave
Towson, Maryland 21204

RE: St. Mary's Church
Zoning Case 92-281-SPHXA

Dear Mr. Jablon:

Please note that the Church is withdrawing the Petition for Special Exception in Zoning Case 92-281-SPHXA. The Church is continuing with a revised Petition for Variance and revised Petition for Special Hearing in this case.

Thank you for your attention in this matter.

Sincerely,

Joseph P. Katrick, Esq.
Joseph P. Katrick, Esq.

cc: Mr. Jerry Sackleh
Mr. Ramon Jadra

JOSEPH P. KATRICK, ESQ.
Attorney at Law
5814 Ebenezer Road
White Marsh, Maryland 21162-1936
(410) 335-7507
FAX (410) 335-9438

July 1, 1994

Mr. Arnold Jablon
Baltimore County ZADM
111 West Chesapeake Ave
Towson, Maryland 21204

RE: St. Mary's Orthodox-Catholic Church
Zoning Case 92-281-SPHXA

Dear Mr. Jablon:

Attached is a check in the amount of \$135.00. As Counsel for the Petitioner, St. Mary's Church, I respectfully request an appeal of the Zoning Commissioner's decision on all issues to the Baltimore County Board of Appeals in the above-referenced case. Thank you for your attention in this matter.

Sincerely,

Joseph P. Katrick, Esq.
Joseph P. Katrick, Esq.

cc: Mr. Jerry Sackleh
Mr. Ramon Jadra

PAYMENT
7/1/94
ZONING OFFICE

92-28-SPHXA
Broadacre Farm
2000 Western Run Rd.
Cockeysville, Md. 21030
July 18, 1994

RECEIVED
ZONING COMMISSIONER

Lawrence A Schmidt
Zoning Commissioner
400 Washington Ave.
Towson, Md. 21204

Dear Mr. Schmidt:

At last the voices attempting to preserve and protect the environment as mandated by the protective zoning laws have been heard in the case of St. Mary's Orthodox Church on Shawan Road. You have taken the right step toward correcting what to most of us living in this area considered an affront to our county laws. This is not to say that a small chapel with a few parishioners getting together on a Sunday to worship would offend anyone. It was rather the obvious intent to commercialize the property through the rentals and the day care center which flies in the face of the intent of zoning laws to maintain the rural nature of an area that raised the ire of the neighborhood, the environmental preservation groups and fortunately attracted your attention.

Mr. Schmidt, keep up the good work. You have untold numbers of backers and I hope you hear from many of us.

Sincerely,

Robert J. Breitenacker

Robert J. Breitenacker

PLEASE PRINT CLEARLY

PROTESTANT(S) SIGN-IN SHEET

NAME ADDRESS

MARGARET WORRELL VPC P.O. Box 5402 Towson 21205

DOUG. McCOMAS FALLS RD. COMM. AGRO C P.O. Box 555 BROOKLANDVILLE, MD 21022

JEFFREY FOREMAN 1 SHEPHERD LANE, HUNT VALLEY, MD 21030

PLEASE PRINT CLEARLY

PROTESTANT(S) SIGN-IN SHEET

NAME ADDRESS

MARGARET WORRELL VPC P.O. Box 5402 Towson 21205

A. Douglas McComas FALLS RD COMM. AGRO C P.O. Box 555 BROOKLANDVILLE, MD 21022

HAURY L MILLER 13277 CUPA RD - Cockeysville - 21020

JEFFREY FOREMAN 1 SHEPHERD LANE, COCKEYSVILLE, MD 21030 (DEVELOPMENT OF GREEN-ROFF)

PLEASE PRINT CLEARLY

PETITIONER(S) SIGN-IN SHEET

NAME ADDRESS

JOSEPH VATRICK 584 EGGLESE RD, WHITE MARSH

Ramon Cusumano 3629 Main St. Laurel MD

JEFF SACKLEY 9427 Joppa AND RD (21234)

Fr. Gerard Romley 18 Northampton Rd. 21236

Ramon Jada 2304 TAYLOR RD & REISTERSTOWN

PLEASE PRINT CLEARLY

PETITIONER(S) SIGN-IN SHEET

NAME ADDRESS

JOSEPH VATRICK 584 EGGLESE RD, WHITE MARSH

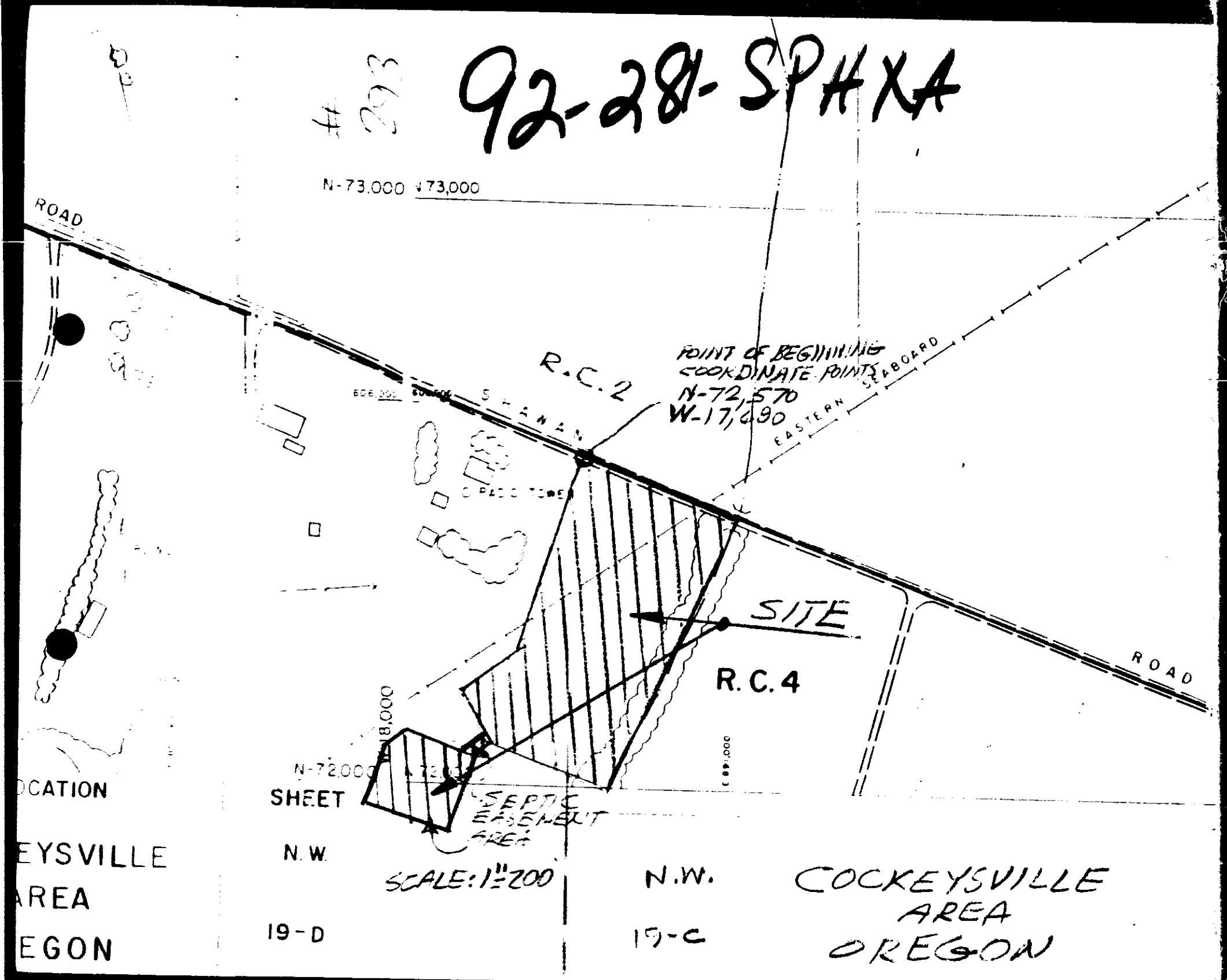
FR. GERARD ROMLEY 18 Northampton Rd. Timonium 21204

Ramon Jada 2304 TAYLOR RD & REISTERSTOWN

JEFF SACKLEY 9427 Joppa AND RD - 21234

Matti A. Kassir, P.E. 1602 Timberline Court 21286

SAM SIMAIKA, AIA Architect 306 PINEWOOD AVE, SILVER SPRING, MD 20901



STATE DEPARTMENT OF ASSESSMENTS & TAXATION

AGRICULTURAL TRANSFER TAX

AMOUNT \$200.00

DATE 11/29/84

This Deed, MADE THIS 21st day of November

of the year one thousand nine hundred and eighty-four

of Baltimore County, in the State of Maryland

SAINT MARY'S ORTHODOX-CATHOLIC CHURCH, a body corporate, duly incorporated under the laws of the State of Maryland

of the second part

Witnesseth, That in consideration of the sum of FIFTY THOUSAND (\$50,000.00) DEED includes the amount of any outstanding Mortgage or Deed of Trust, the amount whereof is hereby acknowledged

the said MILDRED M. SUTTON

grant and convey to the said SAINT MARY'S ORTHODOX-CATHOLIC CHURCH, its

heirs, assigns and successors and assigns

in fee simple, all that

lot of ground situate in Baltimore County, in the State of Maryland

and described as follows, that is to say:

BEGINNING at a point on the south side of Shawan Road, 2400 feet East of Beaver Dam Road, and then running South 61 degrees 30 minutes East 258 feet, thence South 63 degrees 30 minutes East 54.65 feet, South 34 degrees 12 minutes West 530 feet, thence North 55 degrees 30 minutes West 266.81 feet, thence North 26 degrees 30 minutes West 80.32 feet, thence North 63 degrees 30 minutes East 143.14 feet, thence North 26 degrees 38 minutes 54 seconds East 336.49 feet to the beginning point.

BEING part of the lot of ground which by Deed dated April 7, 1975 and recorded among the Land Records of Baltimore County in Liber E.H.K.Jr., No. 5519, folio 714 was granted and conveyed by LINDA I. ZILIO to MILDRED M. SUTTON, for life with powers and remainder over to, as therein set forth, the within grantor.

This being exercised pursuant to said Power it being intent herein to convey both life estate and remaindermen interests contained therein.

TOGETHER with the use in common of 40 foot access Right of Way for ingress and egress from Shawan Road, as shown on Plat attached hereto and made a part hereof.

SUBJECT to the covenant that the cost of construction and maintenance of said right of way shall be at the expense of the Grantee. In the event of the sale of all or a portion of the grantors remaining land, said purchasers, their personal representatives successors and assigns shall have use of said right of way, subject to a proportional share of the cost of maintenance and/or repair of said right of way.

SUBJECT to the use of the Grantor, her personal representatives and assigns to the use of a 15 foot right of way leading from above mentioned 40 foot access right of way, as shown on Plat attached hereto and made a part hereof.

TOGETHER with a 10 foot sewer easement and 16,000 square feet sewage disposal easement, and 10 foot easement along to each side of said sewage disposal easement as set forth on Plat attached hereto and made a part hereto.

Baltimore County
Department of Environmental Protection
& Resource Management
County Courts Building
401 Bosley Avenue
Towson, Maryland 21204
(301) 887-3733

Robert W. Sheesley
Director

Mr. Juri Mastre
Mastre and Wastes, Inc.
2925 Grand Avenue
Baltimore, MD 21234

Dennis F. Rasmussen
County Executive

RE: STORM WATER MANAGEMENT VARIANCE REQUEST, NATIVITY ORTHODOX CHURCH, SHAWAN ROAD

Dear Mr. Mastre:

This office has reviewed the plans for this project and finds that a variance from quantity control for storm water management can be granted under Section 2-150.3(d) of the Baltimore County Storm Water Management Policy and Design Manual, provided the following conditions are met:

- Porous paving should be used for the parking areas at this site.

- The construction plans for the porous paving must be prepared by a Professional Engineer and must meet the standards specified in the Baltimore County Design Manual.

- The porous pavings must be contained within a storm water management easement. The maintenance of the paving will be the responsibility of the owner and a maintenance agreement will need to be processed through Baltimore County. There may be a conflict between the proposed SMM easement and the existing gas transmission lines right-of-way that will need to be resolved before the plans are approved.

- Water quality must be provided for the first half-inch of runoff from all impervious areas.

- Grading and building permits will not be issued until storm water management plans are approved.

If you have questions, contact Ed Schmaus of my staff at 887-3748.

Very truly yours,

Thomas L. Vidmar
Thomas L. Vidmar, P.E.
Bureau Chief, Engineering Services

cc: Messrs. Berger, Childress, Dills, Powell, Solomon, Watson
TLV/RAW/ENS/pai-b

BALTIMORE COUNTY
DEPARTMENT OF ENVIRONMENTAL PROTECTION & RESOURCE MANAGEMENT
County Courts Building
401 Bosley Avenue - Towson, MD 21204

St. Mary's Orthodox Catholic Church
P.O. Box 54
Hunt Valley, Maryland 21031

Date October 3, 1989

Building permit application number B 014461, for a prayer/fellowship hall located at: 401 Shawan Road, St. Mary's Orthodox Church, E.D. 8

SEPTIC SYSTEM DESIGN AND WATER SUPPLY INFORMATION
SEWAGE DISPOSAL SYSTEM - BASEMENT FIXTURES (WALLS) REQUIRE THE USE OF A SEWAGE EJECTOR PUMP.

SEE ATTACHED SEPTIC SYSTEM DESIGN

The above system is to be installed as per the final approved plot plan. The top of the septic tank shall not be deeper than 18 inches below grade.

Rivers are to be installed to the surface over the septic tank and/or grease interceptor. The cover on the septic tank to remain in place.

A plumbing permit is required for the installation of an on-site sewage disposal system. Installation details shall conform with the Baltimore County Plumbing and Gasfitting Code. This office must be contacted if any deviation to specification or location of the sewage disposal system is desired. Deviation requests must be accompanied by revised site plans showing all structures, water well, sewage disposal system and reserve area, for review and approval prior to system construction.

FOR DEEP REMEDIATION, an inspection must be made by the Plumbing Inspection Division at the time the trench is completely excavated to verify the depth and grade of trench. A trench or similar device must be provided.

FOR SHALLOW TIE FIELDS, the initial absorption area plus a 50 ft. buffer from all tree driplines, must be cleared prior to construction of the system.

WATER SUPPLY SYSTEM
To be served by metropolitan water.

No to be served by a water well, No. 8481-5000. A review has been made of the water well yield test performed by G. Edgar Smith & Son, Inc., reportedly producing 15.00 gallons per minute, for a well with casing and 100 feet deep. The report of the yield test indicated that the test was performed in accordance with the procedures approved by COMAR 26.04.04, and indicates a yield which meets the minimum standards for approval of a Building Permit. In accordance with Section 15-117 of the Baltimore County Code, this test shall be valid until August 26, 1990, for the purpose of conveyance of property. This does not constitute, in any form or manner, a guarantee by this office of continuous water well yield.

Prior to occupancy of any new building served by a water well, bacteriological and chemical samples will be collected for analysis. In order to avoid unnecessary delays, it is suggested that the water supply system be connected to the building and disinfected as soon as possible, so that the necessary sampling can be accomplished. Please call 887-2782 for the Water and Sewer Division's occupancy inspection and sample collection.

INTERIOR SYSTEMS
The permitted installation is for an interior. The interior system must be abandoned and connected to the metropolitan system, in accordance with Section 2.19 of the Baltimore County Plumbing and Gasfitting Code.

If there are any questions regarding the above, please contact at 887-2762
Mr. J. Robert Powell

cc: Sam Z. Simaika, D. Arch., AIA
Architectural Consultant
200 Spruce Ave.
Silver Spring, MD 20901

Mastre & Wastes, Inc., Surveyors & Eng.
2003 Chesapeake Ave., Balto., MD 21230
c/o Juri Mastre
W/S 19 (9-89)

RECEIVED
OCT 10 1989
SAM Z. SIMAIKA, AIA
ARCHITECTURAL CONSULTANT

Very truly yours,
Robert J. Aschenbrenner
Robert J. Aschenbrenner
Director
WATER AND SEWER DIVISION

8720

STATE OF MARYLAND
PERMIT TO DRILL

OWNER INFORMATION

DRILLER INFORMATION

WELL INFORMATION

USE FOR WATER CIRCLE APPROPRIATE BOX

APPROXIMATE DEPTH OF WELL

APPROXIMATE DIAMETER OF WELL

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Net No
17
2 photos

BALTIMORE COUNTY, MARYLAND
OFFICE OF ZONING ADMINISTRATION AND DEVELOPMENT MANAGEMENT
INTERNAL CORRESPONDENCE

TO: Sue Hofstetter
FROM: DONALD T. RASCOE, D.T.R.
SUBJECT: St. Mary's Orthodox Church
CSA No. 783-89
Job Order Nos. 4 and 5-1-6347
District B03
Partial Refund

DATE: September 1, 1993

Please find enclosed a memo dated August 30, 1993 from Jack Berger, Division of Inspection and Enforcement, DEPRM, in which they have approved the storm water management as-built plans.

Based on this approval it is requested that you prepare the necessary paper work to perform the following transactions:

4-1-6347 - Release the \$10,000.00 posted for the storm water management fee.

5-1-6347 - Close out, job order not used.

This will leave \$1,000.00 in the 4-1-6347 job order for the storm water management maintenance agreement.

DTR:PAM:aw
Enclosure
cc: Ramon Jindra, c/o St. Mary's Orthodox Church, 109 Wapash Ave., Reisterstown, Maryland 21136
Jack Berger
File

RECEIVED SEP 7 1993

E & WATTS, INC.
SURVEYORS and ENGINEERS
2923 Chenoak Avenue
Baltimore, Maryland 21234
(301) 582-0331

SEPT. 23, 1990

Mr. Doug Colonnell
JOHN DAY ASSOCIATES, INC.
2139 CORBETT ROAD
MONKTON, MARYLAND 21111

RE: ASSEMBLY HALL
NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH
SHAWAN ROAD

GENTLEMEN:

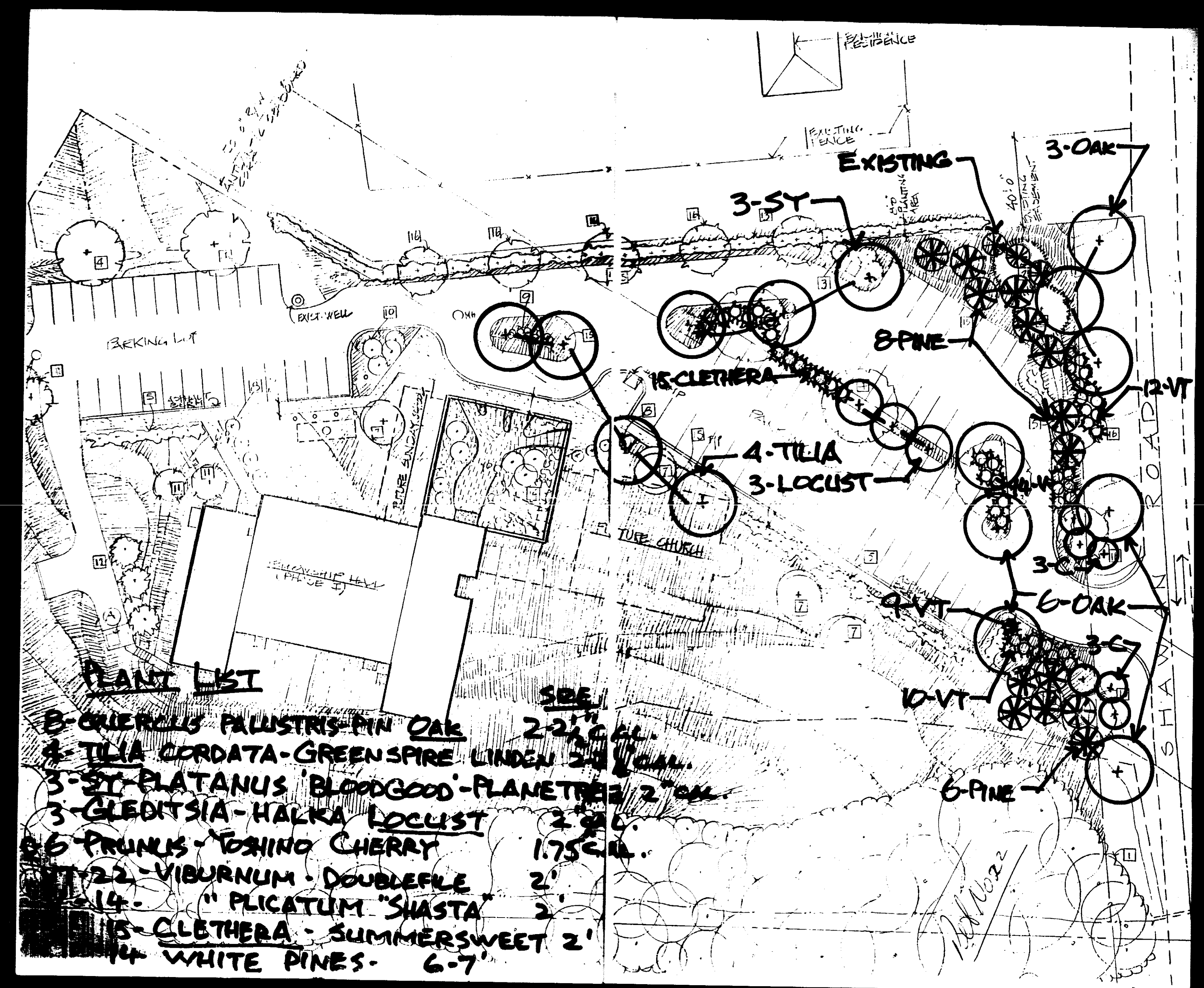
THIS IS TO CERTIFY THAT THE SEPTIC DRAINAGE AREA FOR THE SUBJECT PROJECT WAS LAID OUT AND CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS DATED JAN. 26, 1989, PREPARED BY MAISTE & WATTS, INC. AND ENTITLED SHEET NO. 1 OF 3, GRADING PLAN, NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH.

VERY TRULY YOURS
Juri Maiste
JURI MAISTE
cc: SAM SIMAIKA

Det No 20 for ID only

COPY

RECEIVED
SEP 25 1990



8720

SEQUENCE NO. 1 OF 1

DATE: 10/2/89

OWNER INFO: MARIO

LOCATION OF WELL: SHAWAN ROAD

DRILLER INFORMATION: [Redacted]

WELL INFORMATION: APPROX. PUMPING RATE (GAL PER MIN): 1.0; AVERAGE DAILY QUANTITY NEEDED (GAL PER DAY): 1.0

USE FOR WATER (CIRCLE APPROPRIATE BOX): [Redacted]

APPROXIMATE DEPTH OF WELL: 3.0 FT

APPROXIMATE DIAMETER OF WELL: 4.0 IN

METHOD OF DRILLING: [Redacted]

REPLACEMENT OR DEEPEMED WELLS (CIRCLE APPROPRIATE BOX): [Redacted]

APPROX. PERMIT NUMBER: [Redacted]

FORCE: [Redacted]

SPECIAL CONDITIONS: [Redacted]

Baltimore County Executive

Proclamation

NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH DAY
OCTOBER 2, 1988

WHEREAS, on Sunday, October 2 the Nativity of the Theotokos Orthodox Church of Baltimore County is hosting a special banquet and ceremony to commemorate the groundbreaking of its permanent house of worship in Hunt Valley; and

WHEREAS, the ceremony will be conducted by His Grace Bishop Antoun, Auxiliary Bishop of the Antiochian Orthodox Christian Archdiocese of North America; Primate of the Archdiocese is His Eminence, Metropolitan Philip Saliba; and

WHEREAS, the mission of Nativity of the Theotokos Orthodox Church (originally called St. Mary's) was started in Baltimore in 1966; the present priest is the Reverend Father George F. Romley, former priests of this Eastern Orthodox church were Father Louis Mahshi, Father Spiro Constantine and Father George Rados; and

WHEREAS, the congregation of the Nativity of the Theotokos Orthodox Church is to be congratulated on this important milestone of a permanent house of worship for the parish family;

NOW, THEREFORE, I, Dennis F. Rasmussen, as County Executive of Baltimore County, do hereby proclaim Sunday, October 2, 1988

NATIVITY OF THE THEOTOKOS ORTHODOX CHURCH DAY

in Baltimore County, and I ask all Baltimore County citizens to give special recognition to this church, which has served its parishioners and its community so faithfully for 22 years.

In witness whereof, I have hereunto set my hand and caused the Great Seal of Baltimore County to be affixed this twenty-ninth day of September, in the year one thousand, nine hundred and eighty-eight.

ATTEST:
Robert N. Imbri, Jr., Executive Secretary
Dennis F. Rasmussen, County Executive

JD
John E. Day
ASSOCIATES, INC.

April 3, 1990

Department of Permits & Licenses
111 W. Chesapeake Avenue
County Office Building
Room 100
Towson, MD 21204

Dear Gentlemen:

We would like to request that our company name be put on the building permit (S-01481 C-783-89) for the Fellowship Hall Project located at 909 Shawan Road, Hunt Valley, MD 21101.

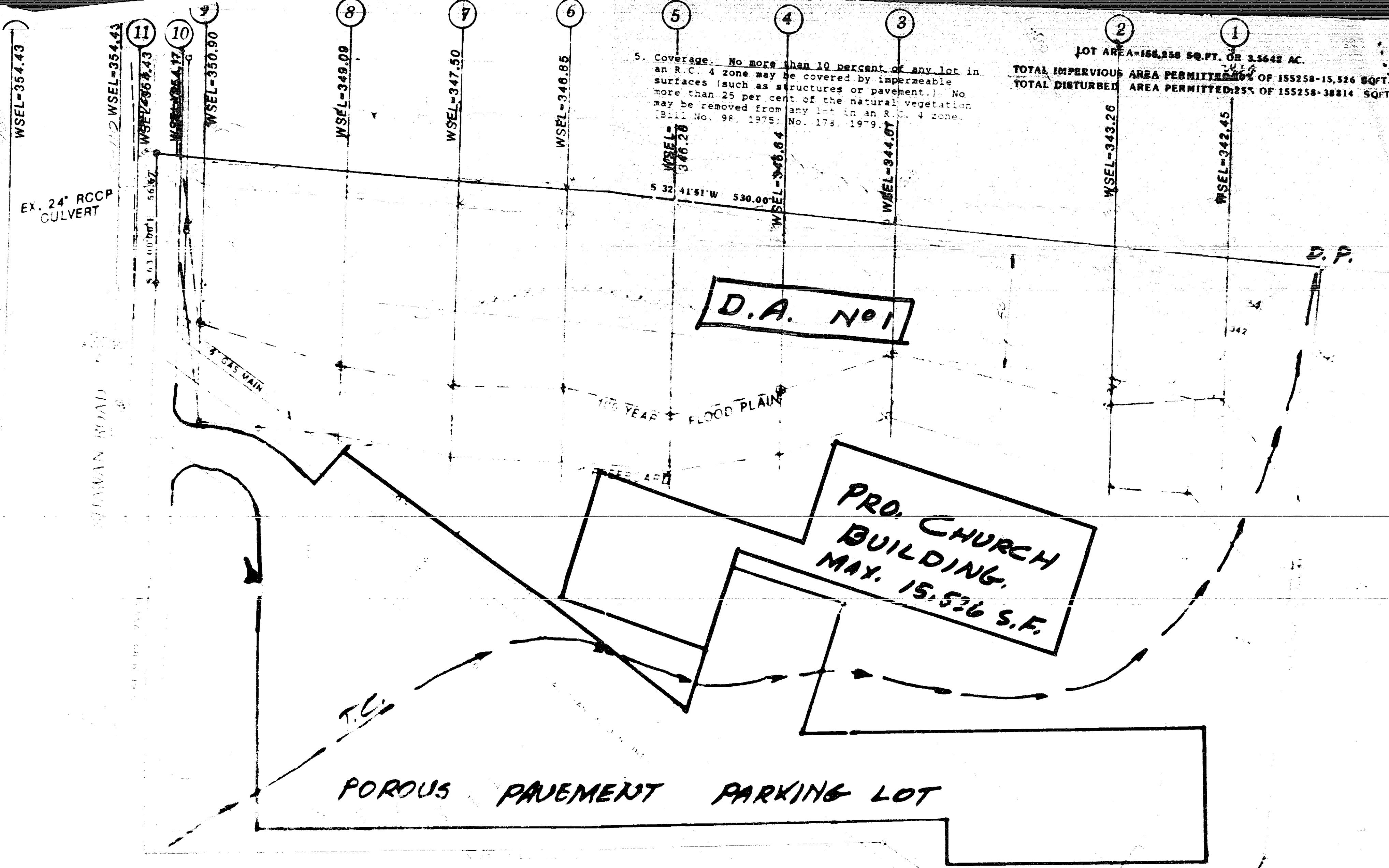
If you have any questions regarding this matter, please do not hesitate to contact us.

Thanking you in advance, we remain,

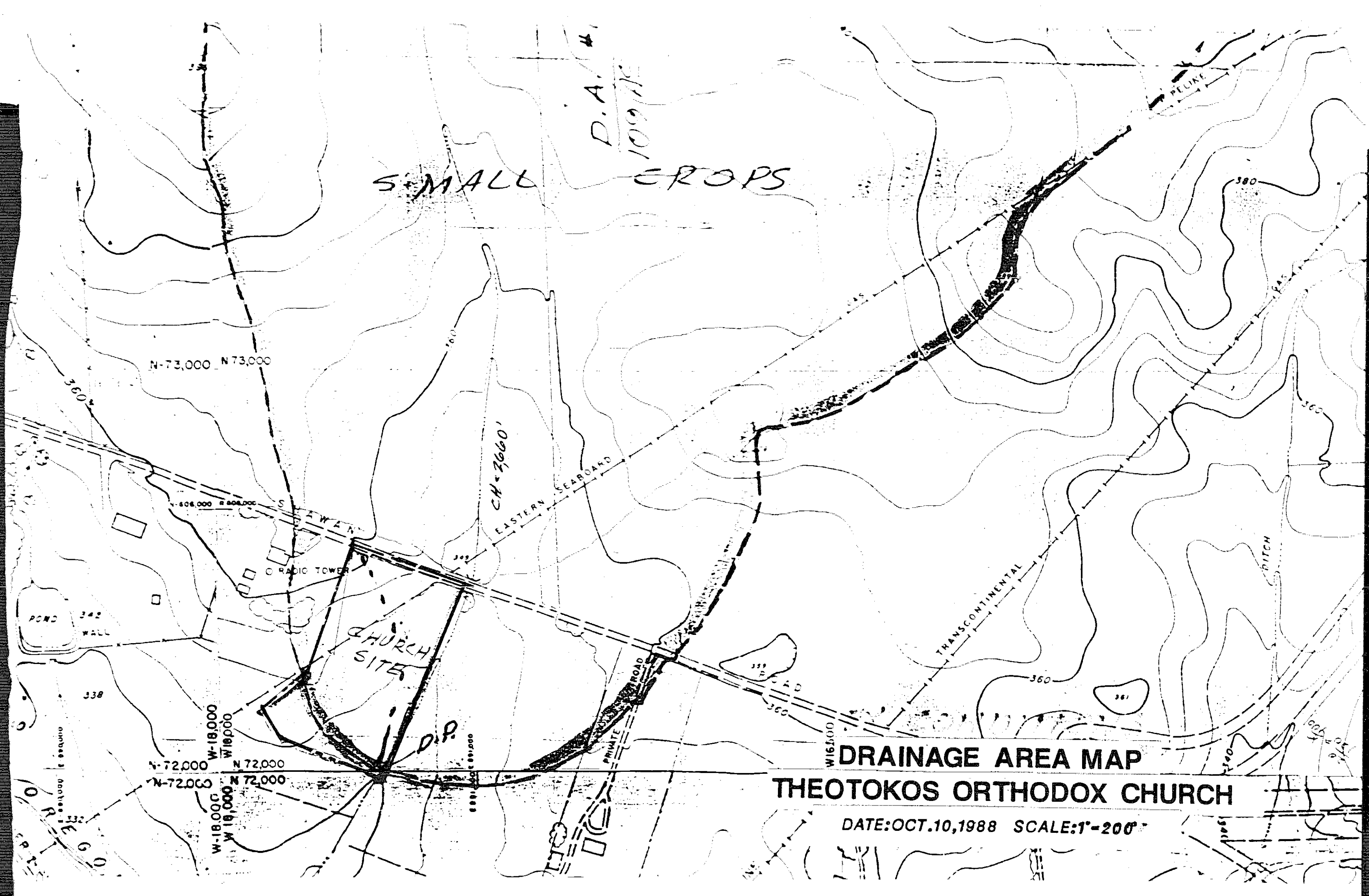
Very truly yours,
JOHN E. DAY ASSOCIATES, INC.
D. J. Colwell, Project Manager

RECEIVED
APR 4 1990

GENERAL CONTRACTOR
JOHN E. DAY ASSOCIATES, INC.
2139 CORBETT ROAD, MONKTON, MARYLAND 21111 TELEPHONE: 301-771-4529 FAX: 301-370-3819



PRO. CONDITIONS



MAISTE & WATTS, INC.
SURVEYORS and ENGINEERS
2920 Chenoak Avenue
Baltimore, Maryland 21234
(301) 862-0821

December 28, 1988

Mr. Al Wirth
DEPRM
416 Courts Building
Towson, Maryland 21204

Re: Nativity Orthodox Church
Shawan Road
Baltimore County, Maryland

Dear Mr. Wirth,

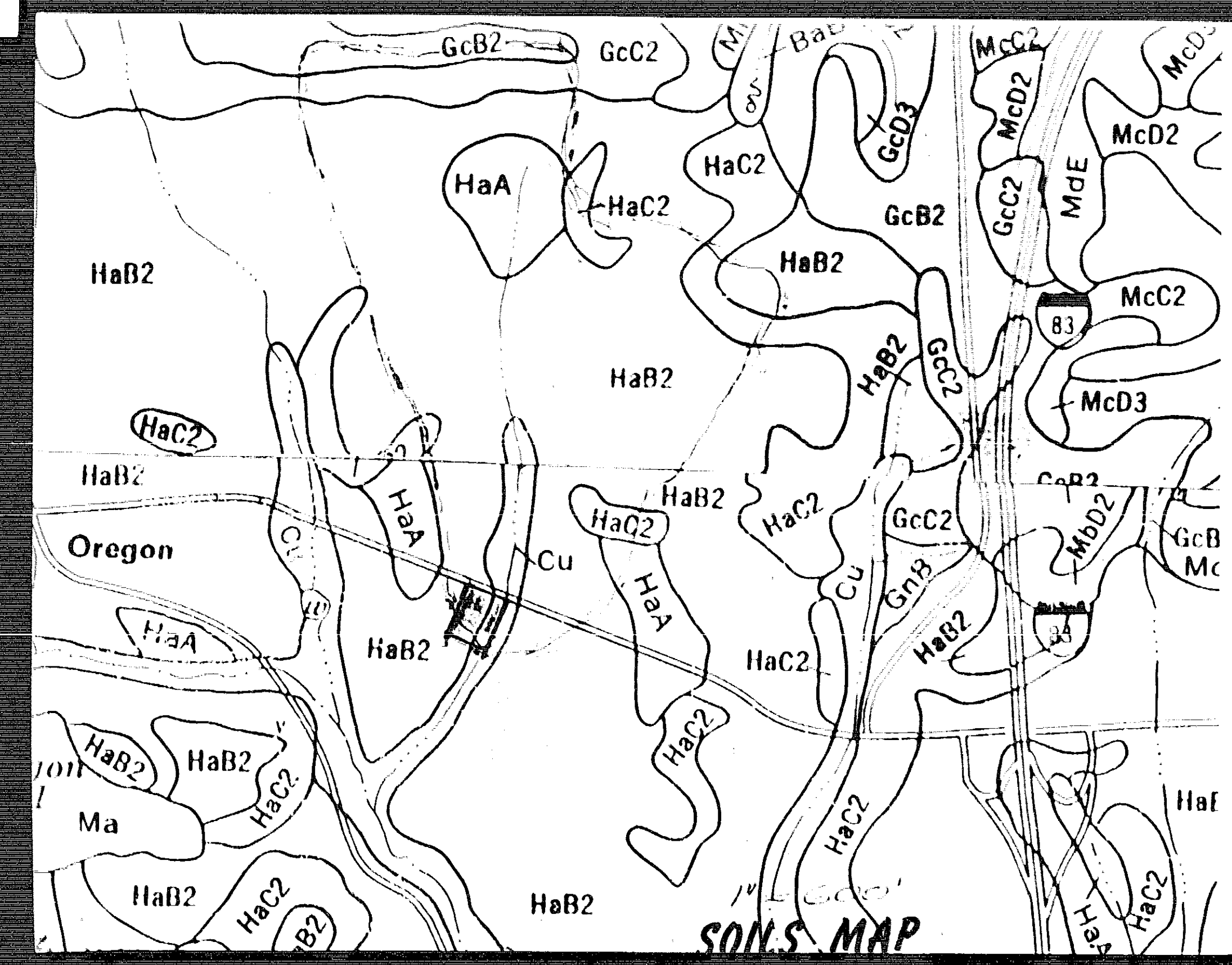
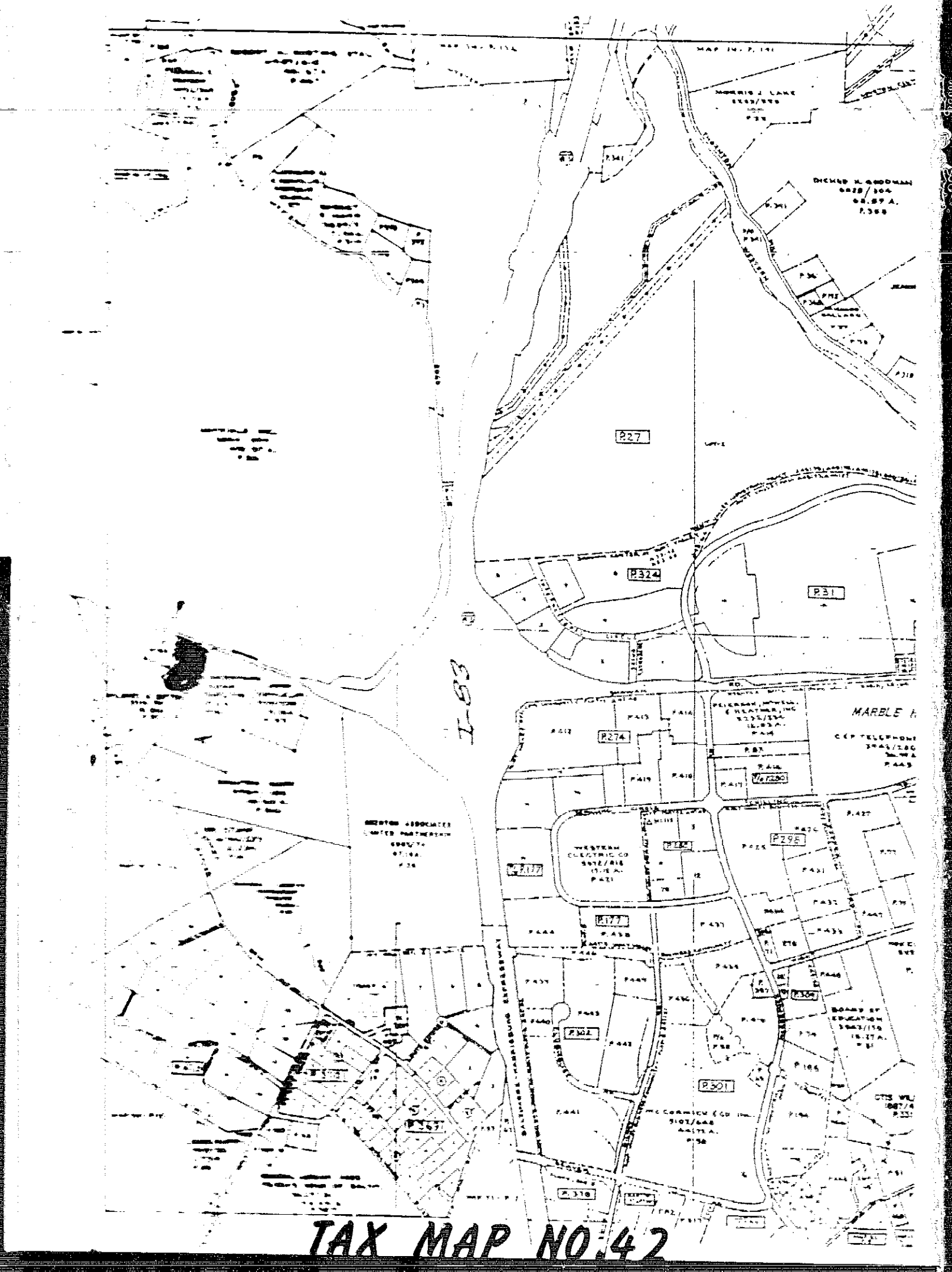
Enclosed are TR-55 Hydrology computations for existing and proposed conditions for the referenced project.

Please note that the 2 year peak discharge from pre-development versus post development conditions constitutes an increase of only 5%.

Due to the above I believe that this development would qualify for Storm Water Management Waiver as per section 2-150.3(c)(1) of the Development Procedures and Policy Manual.

I thank you for all considerations in this matter.

Very Truly Yours,
Juri Maiste
Juri Maiste
cc: Ramon Jadres
Sam Simakva ✓



HAISTE & WATTS, INC. TR-55 DESIGN COMPUTATIONS BALTIMORE COUNTY D.P.W. FORMAT

BY: J.M. LOCATION: NATIVITY ORTHODOX CHURCH-SHANAN RD. DISTR. 8
DATE: 12/27/88 AREA NO.: 1 JO. 87-108
EXISTING CONDITIONS SHEET 1 OF 2

SOIL	LAND USE OR ZONING	HYD. COND.	% IMPERV.	TBL. 2-2	R.C.N.	AREA (AC)	RCN X
C	SMALL GRAIN	0	0	33	3.56	303.45	

TOTAL SQ. MILES 0.0056 TOTAL ACRES: 3756 303.45

WEIGHTED RCN= 83 USE 83

ID	TYPE OF FLOW	L(FT)	N	A	P/W SLOPE	VEL.	TIME
SHEET FLOW (TBL 3-1)(1)		150	0.24		5.0		0.23
SHALLOW CONC FLOW-FIG 3-1							
PAVED UNPAVED X		400			2.5	1.5	0.07
PAVED UNPAVED							
CHANNEL FLOW			0.05				
PIPE FLOW			0.014				

INITIAL ABSTRACTION Ia= 0.410 IN. (TBL 5-1) USE Tc= 0.30 Tt= TOTAL 0.730

RAINFALL FREQ.	1-YEAR	2-YEAR	5-YEAR	10-YEAR	25-YEAR	50-YEAR	100-YEAR
RAINFALL, P	3.2 IN.	4.2 IN.	5.1 IN.	5.5 IN.	6.3 IN.	7.1 IN.	

Pe/P = 0.128
PEAK QSM/IN. = 360
RUNOFF "Q" (2) = 1.5 IN.
PEAK DISCHG. (3) = 15.92 cfs

HAISTE & WATTS, INC. TR-55 DESIGN COMPUTATIONS BALTIMORE COUNTY D.P.W. FORMAT

BY: J.M. LOCATION: NATIVITY ORTHODOX CHURCH-SHANAN RD. DISTR. 8
DATE: 12/27/88 AREA NO.: 1 JO. 87-108
ULTIMATE CONDITIONS SHEET 2 OF 2

SOIL	LAND USE OR ZONING	HYD. COND.	% IMPERV.	TBL. 2-2	R.C.N.	AREA (AC)	RCN X
C	BUILDING ROOF	0	10	98	0.36	35.280	
C	GRASS	0	0	79	3.20	252.80	

TOTAL SQ. MILES 0.0056 TOTAL ACRES: 3756 288.08

WEIGHTED RCN= 80.92 USE 81

ID	TYPE OF FLOW	L(FT)	N	A	P/W SLOPE	VEL.	TIME
SHEET FLOW (TBL 3-1)(1)		75	0.24		7.0		0.11
SHALLOW CONC FLOW-FIG 3-1							
PAVED UNPAVED X		525			3.0	1.7	0.09
PAVED UNPAVED							
CHANNEL FLOW			0.05				
PIPE FLOW			0.014				

INITIAL ABSTRACTION Ia= 0.469 IN. (TBL 5-1) USE Tc= 0.20 Tt= TOTAL 0.669

RAINFALL FREQ.	1-YEAR	2-YEAR	5-YEAR	10-YEAR	25-YEAR	50-YEAR	100-YEAR
RAINFALL, P	3.2 IN.	4.2 IN.	5.1 IN.	5.5 IN.	6.3 IN.	7.1 IN.	

Ia/P = 0.150
PEAK QSM/IN. = 775
RUNOFF "Q" (2) = 1.43 IN.
PEAK DISCHG. (3) = 6.21 cfs

Baltimore County Government
Office of Zoning Administration
and Development Management

111 West Chesapeake Avenue
Towson, MD 21204

August 2, 1993 (410) 887-3353

Mr. Roman Jindra
St. Mary's Orthodox Catholic Church
109 Belknap Avenue
Baltimore, Maryland 21136

Re: C-94-138
St. Mary's Orthodox
Catholic Church
309 Shawan Road
8th Election District

Dear Mr. Jindra:

Due to a complaint received in this office, it is apparent that construction has begun on a courtyard for the church. Although a permit was issued and approved by Baltimore County in error, this office has no alternative but to rescind our approval on B165899.

Back in 1991 a letter had been sent to Father George Romley of Saint Mary's (copy enclosed) stating that, if any proposed phases of the church were to be constructed, a special hearing would be necessary to amend the site plan on file for the special exception for a church (87-130-X).

At this time this office shall request that this site be brought back to its original condition, and a public hearing be applied for and ultimately granted by the Zoning Commissioner for any future expansions. Also, you still fail to adhere to the original order of landscaping for this site.

This office will reinspect this property after August 20, 1993 whereas all zoning violations must be corrected, or this office will have no alternative but to bring this matter to court.

If you have any questions, I can be reached at 887-3351.

Sincerely,
Donna Thompson
Zoning Inspector

RECEIVED
AUG 2 1993
BY COUNTY COUNCIL

cc: Father George Romley; Robert W. Cannon, Esquire; John R. Baisinger, Building Engineer; Sam Z. Simaka, Architectural Consultant; File
bc: Honorable C.A. "Dutch" Ruppelberger, III ✓

Baltimore County Government
Office of Zoning Administration
and Development Management
Office of Planning & Zoning

111 West Chesapeake Avenue
Towson, MD 21204

July 31, 1991 887-3353

Father George F. Romley
Saint Mary's Orthodox-Catholic Church
309 Shawan Road
Cockeysville, Maryland 21030

Re: Case No. C-91-2788
309 Shawan Road
8th Election District

Dear Father Romley:

This letter is written to you in reference to our meeting of July 18, 1991. At that time it appears that the only solution to matters pertaining to using the church for social functions was for the purpose of a community hall would be to apply for a special exception and be granted by the Zoning Commissioner. A special hearing will be necessary to amend the site plan submitted with the Special Exception (84-130-X) granted in 1983 if you intend to construct any other phases of the church. Also, a variance may be necessary for the appropriate parking spaces needed if the community hall or additional buildings were granted by the Zoning Commissioner.

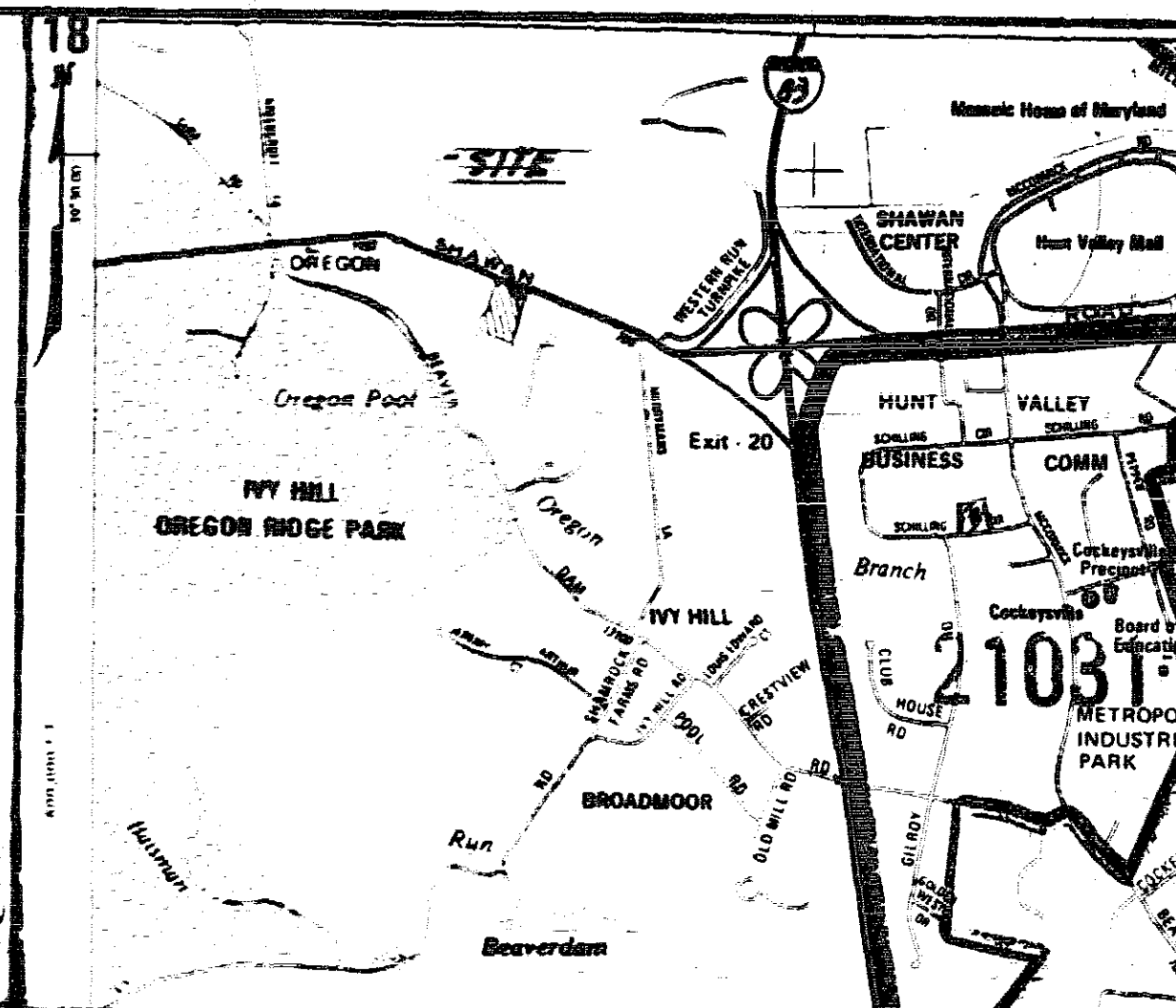
Again, we must reiterate that using the church for social functions held by church members is permitted as an accessory use to the church. Non member functions shall not be permitted until the special exception for the community building is granted. As stated in our meeting, the few binding contracts that you and the Expressions at Hunt Valley or any other caterer have entered into may be terminated.

Furthermore, if you have any questions whatsoever, please do not hesitate to contact me at 887-3351 or 887-3351.

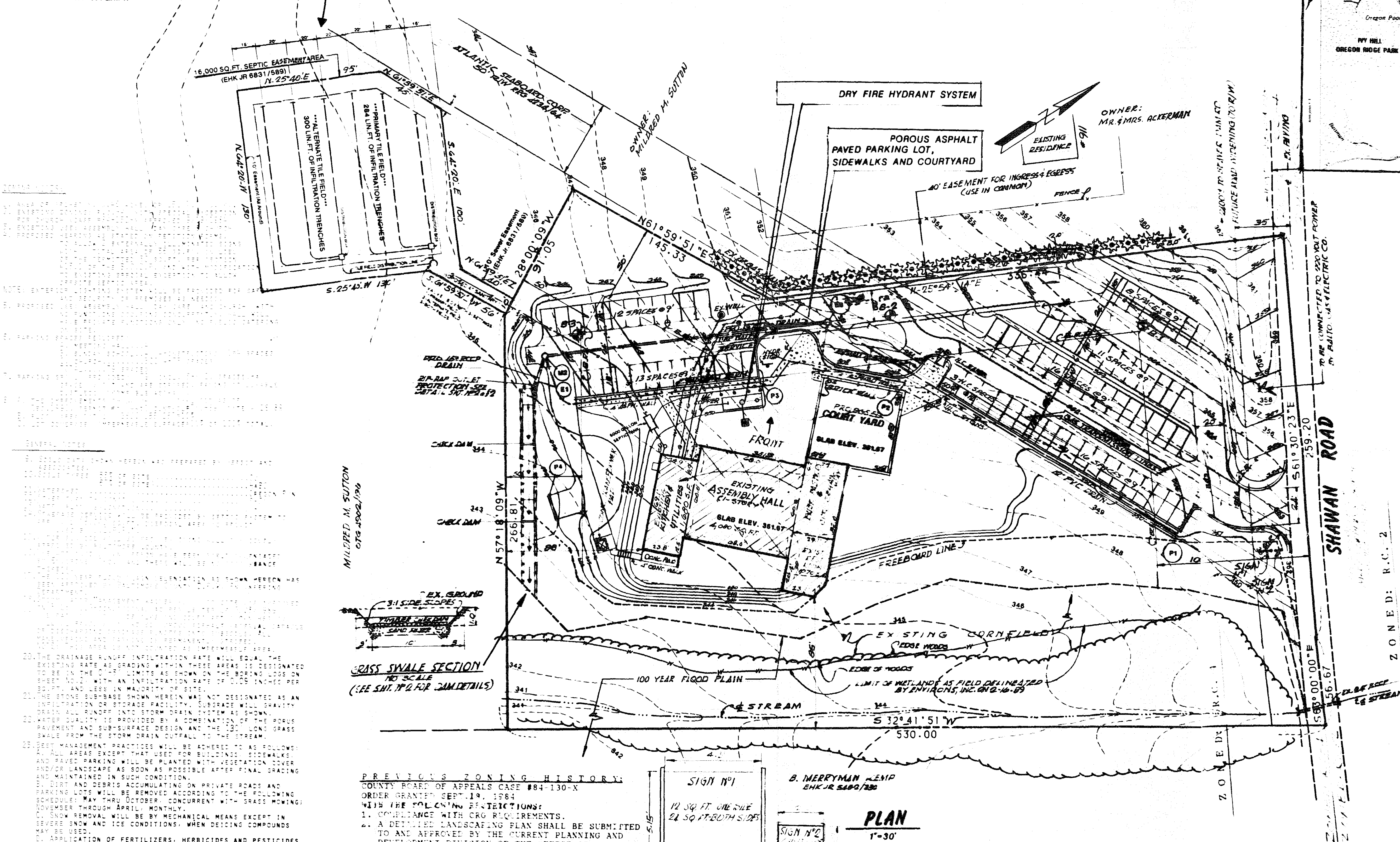
Sincerely,
Donna Thompson
Zoning Inspector

cc: James H. Thompson, Zoning Enforcement Coordinator
cc: Father George Romley, Building Engineer; Sam Z. Simaka, Architectural Consultant; File
cc: Honorable C.A. "Dutch" Ruppelberger, III ✓

BENCH MARK
BALTO COUNTY TRAVERSE STA. NO. 12822-ELEV. 384.001
1/2" BAR ON SOUTHWEST SIDE OF SHAWAN ROAD & NORTHWEST
SIDE OF DRIVEWAY TO #911 SHAWAN ROAD.

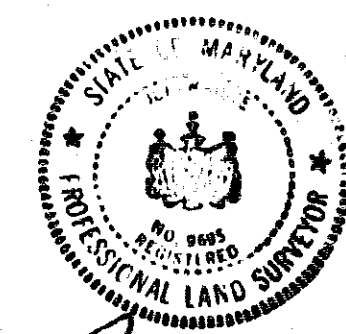


LOCATION MAP
1"=2000'



OWNER: "TOLL HOUSE, INC."
4-7362 F.209
(470 ACRES)

REVISED 92-281-5PMXA



Qui Maite

SHEET 1	DATE 1/26/1989	JOB NUMBER
OF 1	SCALE 1"=30'	87-100

C.R.G. WAIVER FOR PLAN AND PLAT APPROVED: 11\18\1983

PLAT TO A COMPANY PETITION
SPECIAL HEARING, SPECIAL EXCEPTION,
AND FOR A VARIANCE
#909 SHAWAN ROAD
SAINT MARY'S ORTHODOX CHURCH
8-TH ELECTION DISTRICT BALTIMORE COUNTY, MARYLAND

MAISTE & WATTS, INC.
SURVEYORS & ENGINEERS
2923 CHENOAK AV. BALTIMORE, MD. 21234 (301)882-0321

OWNER: TAX MAP 42 PAR.471
EHK JR 6831/589
SAINT MARY'S ORTHODOX CHURCH
C/O RAMON JADRA 109 WABASH AVE,
REISTERSTOWN, MARYLAND 21136 285-0701

ARCHITECTURAL CONSULTANT:
SAM Z. SIMAIKE D.ARCH., A.I.A.
306 PINWOOD AVE., SILVER SPRING, MARYLAND

Ordering Type	DATE	REVISIONS
Drawn: <i>SL</i>	12-1-96	REVISION FOR ZONING USE & VARIANCE
Design: <i>SL</i>	12-1-96	Drawn to Special City Ordinance to allow OFFICE SUPPLY STORE
Check: <i>SL</i>	12-28-96	General